



## **City Council Meeting**

**Monday, May 13, 2024 at 5:15 pm**

### **LOCATION OF MEETING:**

City Hall Council Chambers, 627 N. Adams Street, Carroll, Iowa 51401

### **NOTICE**

In addition to attending the meeting in person, the public can watch the meeting live from the City's Cable Access Channel CAAT6 available on Western Iowa Network and Mediacom or on the City's YouTube channel by going to: <https://www.youtube.com/CityofCarrollIowa> If you choose to watch live on YouTube you are encouraged to subscribe to the City's YouTube channel so you can access the meeting live when it starts. CAAT6 and YouTube meeting feeds are a view only option and you will not be able to participate in the meeting via CAAT6 or YouTube.

The City of Carroll will make the meeting available telephonically via zoom for those individuals who wish to attend remotely. Individuals wishing to attend remotely need to contact the City at 712-792-1000 by 3:00 PM the day of the meeting to make arrangements.

### **AGENDA**

**1. Pledge of Allegiance**

**2. Roll Call**

**3. Introduction of New Employee**

- Lois Peterson - Public Works Administrative Assistant

**4. Mental Health Awareness Proclamation**

**5. Consent Agenda**

**a. Approval of Minutes of the April 22, 2024 Meeting**

**b. Approval of Bills and Claims**

**c. Licenses and Permits:**

- Renewal of Class "E" Retail Alcohol License - *Beer Thirty Carroll*
- Renewal of Special Class "C" Retail Alcohol License - *Pizza Hut*
- Renewal of Special Class "C" Retail Alcohol License - *Napoli's Italian Restaurant*

**d. Bid Opening Report - Batting Cages**

**e. Infill Housing Incentive Applications**

## 6. Oral Requests and Communications from the Audience

Members of the public wishing to address the Council for items not on the agenda are asked to approach the podium and wait to be recognized. After recognition, the person shall state their name and address for the record. Statement or questions are limited to five (5) minutes.

## 7. Ordinances

### a. Vacation of a Portion of North West Street - 2nd Reading

Also see item 7.c - [April 22, 2024](#) - Public Hearing on the Vacation of a Portion of North West Street

### b. Rezoning Request from A-1, Agricultural District to R-3, Low-Density Residential District - 2nd Reading

Also see item 6.f - [April 8, 2024](#) - Rezoning Proposal - Set Public Hearing and item 7.d - [April 22, 2024](#) - Public Hearing on the Rezoning Request

## 8. Resolutions

### a. 1114 N Main Street

- Public Hearing on the Proposed Sale of City Interest in Real Estate
- Resolution for the Sale of the City Interest in Real Estate

Also see item 8.e - [March 25, 2024](#) - Request for Bids - 1114 N Main Street and item 8.b - [April 22, 2024](#) - Review Bid and Set Public Hearing - 1114 N Main Street

### b. City of Carroll - Renovations at Merchants Park Project

- Public Hearing on Plans, Specifications, Form of Contract and Estimated Cost
- Resolution Adopting Plans, Specifications, Form of Contract and Estimated Cost

Also see item VI.d - [September 13, 2021](#) - Professional Services Agreement - Merchants Park ARPA Tourism Grant Assistance

And item 8.b - [April 25, 2022](#) - Carroll Merchants Park: Destination Iowa Grant Opportunity

And item 7.d - [May 9, 2022](#) - Destination Iowa Grant Application for Merchants Park

And item 7.a - [October 24, 2022](#) - Destination Iowa Grant Application

And item 6.d - [May 22, 2023](#) - Merchants Park Baseball Stadium Upgrades - Budget Update and Professional Services Agreement

And item 6.a, 6.b, and 6.c - [September 25, 2023](#) - Bleachers, Netting and Dugouts - Public Hearing on Plans & Specifications and Rejection of Bids

And item 6.a - [February 12, 2024](#) - Merchants Park Baseball Stadium Project

And item 6.d - [April 8, 2024](#) - Shive Hattery, Inc. - Amendment to Agreement - Merchants Park

### c. Annexation Request from QRS Investments, L.L.C. and Village Rentals, L.L.C.

- Resolution Approving the Voluntary Annexation of Land

**d. Echo Urban Renewal Plan and Development Agreement**

- Resolution Approving an Engagement Agreement

**9. Reports**

- a. Set Public Hearing Date for FY 2023 - 2024 Budget Amendment #2**

**10. Committee Reports (Informational Only)**

**11. Comments from the Mayor**

**12. Comments from the City Council**

**13. Comments from the City Manager**

**14. Adjourn**

May Meetings:

\* Airport Commission – May 13, 2024 – Airport Terminal Building - 21177 Quail Ave

\* Library Board of Trustees – May 20, 2024 – Carroll Public Library – 118 E 5th St

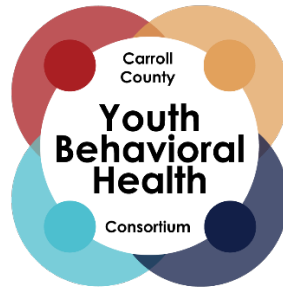
\* City Council – Tuesday, May 28, 2024 – City Hall – 627 N Adams St

**[www.cityofcarroll.com](http://www.cityofcarroll.com)**

*The City of Carroll will make every attempt to accommodate the needs of persons with disabilities, please notify us at least three business days in advance when possible at 712-792-1000, should special accommodations be required.*

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| Agenda published on 05/09/2024 at 3:53 PM



## Mental Health Awareness Proclamation

**WHEREAS**, the month of May has been declared as Mental Health Awareness Month; and

**WHEREAS**, mental health is essential to everyone's overall health and well-being; and become even more pronounced since the COVID-19 pandemic; and

**WHEREAS**, all Americans experience times of difficulty and stress in their lives; good mental health sustains an individual's thought process, relationships, productivity and ability to adapt to change or face adversity; and

**WHEREAS**, mental health adversely affects those abilities and often is life threatening in nature; and

**WHEREAS**, serious mental illness, such as major depression, bipolar disorder, schizophrenia, obsessive-compulsive disorder, severe anxiety disorders, borderline personality disorders, and post-traumatic stress disorders affect one in every five people annually; and

**WHEREAS**, prevention is an effective way to reduce the burden of mental health conditions; and

**WHEREAS**, education and prevention are effective ways to reduce the burdens associated with mental illness and we all share in the responsibility to help anyone with signs of mental illnesses and to help promote awareness and understanding of mental wellness, mental illness, and substance use disorders and support prevention efforts in our families, schools and community

**NOW THEREFORE:** I, Gerald H. Fleshner, Mayor of the City of Carroll, declare the month of May as Mental Health Awareness Month and call upon our City Council and the community to promote awareness and understanding of mental wellness and to stand by those with mental health challenges and to remind them they are never alone.

Dated: May 13, 2024

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Gerald H. Fleshner – Mayor

*Consortium Partners for Child + Adolescent Mental Health:*

Carroll Community School District, Carroll County Public Health, Carroll Police Department, Catholic Charities of the Diocese of Sioux City, Coon Rapids-Bayard Community School District, Iowa Healthcare Collaborative, Kuemper Catholic School System, NAMI, New Opportunities St. Anthony Regional Hospital, Seasons Center, Plains Area Mental Health Center, United Methodist Church.

COUNCIL MEETING

APRIL 22, 2024

(Please note these are draft minutes and may be amended by Council before final approval.)

The Carroll City Council met in regular session on this date at 5:15 p.m. in the Council Chambers, City Hall, 627 N Adams Street. Council Members present: Jason Atherton, Kyle Bauer, Tom Bordenaro, LaVern Dirx, JJ Schreck, and Carolyn Siemann. Absent: None. Mayor Jerry Fleshner presided and City Attorney Dave Bruner was in attendance.

\* \* \* \* \*

The Pledge of Allegiance was led by the City Council. No Council action taken.

\* \* \* \* \*

New Streets Division employee Heath Golwitzer was introduced to Council. No Council action taken.

\* \* \* \* \*

Mayor Fleshner read a proclamation declaring April 26, 2024, as Arbor Day in Carroll, Iowa, and urged all citizens to participate in tree planting programs that will ensure a greener Carroll and a greener Iowa and to nurture, protect, and wisely use Iowa’s natural wonder of trees. No Council action taken.

\* \* \* \* \*

It was moved by Bordenaro, seconded by Atherton, to approve the following items on the consent agenda: a) minutes of the April 8, 2024 meeting, as written; b) bills and claims in the amount of \$486,031.55; c) Licenses and Permits: Renewal of Class “E” Retail Alcohol License – *Walgreens #10770*, Renewal of Class “B” Retail Alcohol License – *Sparky’s One Stop #29*, Renewal of Class “E” Retail Alcohol License – *Casey’s General Store #3025*, New 5-day Special Class “C” Retail Alcohol License with Outdoor Service – *Lucky Wife Wine Slushies (Special Event at Katy Lynn Boutique on May 4, 2024)*, and Resolution No. 24-30, Granting Permission to Serve and Sell Alcoholic Beverages at the Adult Slow Pitch Softball Fields and New Special Class “C” Retail Alcohol License with Outdoor Service – *Carroll County Softball*. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

\* \* \* \* \*

Eric White, Barrel Smoke BBQ, addressed Council about peddlers, solicitors and transient merchant permits during the oral requests or communications from the audience. No Council action taken.

\* \* \* \* \*

It was moved by Atherton, seconded by Bordenaro, to approve the second reading and waive the third reading of an ordinance amending the Code of Ordinances by changing the No Parking Zone to a Loading Zone on Main Street from 10<sup>th</sup> Street to 11<sup>th</sup> Street. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

It was moved by Siemann, seconded by Dirkx, to adopt said Ordinance No 2408. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

\* \* \* \* \*

It was moved by Schreck, seconded by Atherton, to approve the second reading and waive the third reading of an ordinance amending the Code of Ordinance by adding zoning districts A-2 and RB-1 to Chapter 156, Sign Code. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

It was moved by Dirkx, seconded by Bauer, to adopt said Ordinance No. 2409. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

\* \* \* \* \*

At 5:25 p.m. Mayor Fleshner opened a public hearing on the vacation of a portion of North West Street described as the East 13 feet of the West 53 feet of the North 2,164 feet of the NE¼ of Section 13-T84N-R35W. Mayor Fleshner closed said hearing at 5:27 p.m.

An ordinance providing for vacating for street purposes of a portion of N. West Street described as East 13 feet of the West 53 feet of the North 2,164 feet of the NE¼ of Section 13T84N-R35W was introduced by Council Member Atherton.

It was moved by Atherton, seconded by Bordenaro, to approve the first reading of said ordinance. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

\* \* \* \* \*

At 5:28 p.m. April 22, 2024, Mayor Fleshner opened a public hearing for the rezoning request of the property legally described as:

A Parcel of land located in part of Lot 2 and Lot 3 of the Northwest Quarter of the Northeast Quarter and Part of Lot 2 located in the Southwest Quarter of the Northeast Quarter, all in Section 13, Township 84 North, Range 35 West of the 5th P.M., City of Carroll, Carroll County, Iowa, being more particularly described as follows: COMMENCING at the North quarter corner of said Section 13; thence S01°06'09"W (assumed bearing) on the West line of said Northeast quarter, 443.40 feet; thence S88°53'51"E, 40.00 feet to the POINT OF BEGINNING; thence continuing S88°53'51"E, 150.00 feet; thence S01°06'09"W, 600.00 feet; thence S88°53'51"E, 50.00

feet; thence S01°06'09"W, 520.00 feet; thence N88°53'51"W, 200.00 feet; thence N01°06'09"E, 1120.00 feet to the POINT OF BEGINNING

from A-1, Agricultural District to R-3, Low-Density Residential District. Mayor Fleshner allowed time for citizens to speak or present evidence in favor of the application. No evidence was presented in favor of the application. Mayor Fleshner allowed time for citizens to speak or present evidence in opposition of the application. Mark Beardmore, Carroll resident, addressed Council in opposition of the application. City Manager Aaron Kooiker presented the Planning and Zoning Commission's recommendation and further presented evidence that the proposed rezoning would be consistent with the City of Carroll's Comprehensive Plan. The public notice of the public hearing for the City Council and Planning and Zoning Commission meetings were properly made in a timely fashion and proof of publications are on file in the City Clerk's office. Mayor Fleshner then requested further evidence from others. No further evidence was presented. The Council was then given the opportunity to ask questions of any of the witnesses or evidence. Mayor Fleshner then closed the public hearing at 5:57 p.m.

It was moved by Bauer, seconded by Seimann, that upon consideration of all the evidence contained in the record of the public hearing dated April 22, 2024; that all proper procedures and notices were followed; and rezoning is consistent with the City's Comprehensive Plan, the application to rezone the area legally described as:

A Parcel of land located in part of Lot 2 and Lot 3 of the Northwest Quarter of the Northeast Quarter and Part of Lot 2 located in the Southwest Quarter of the Northeast Quarter, all in Section 13, Township 84 North, Range 35 West of the 5th P.M., City of Carroll, Carroll County, Iowa, being more particularly described as follows: COMMENCING at the North quarter corner of said Section 13; thence S01°06'09"W (assumed bearing) on the West line of said Northeast quarter, 443.40 feet; thence S88°53'51"E, 40.00 feet to the POINT OF BEGINNING; thence continuing S88°53'51"E, 150.00 feet; thence S01°06'09"W, 600.00 feet; thence S88°53'51"E, 50.00 feet; thence S01°06'09"W, 520.00 feet; thence N88°53'51"W, 200.00 feet; thence N01°06'09"E, 1120.00 feet to the POINT OF BEGINNING

from A-1, Agricultural District to R-3, Low-Density Residential District be approved; that the City Clerk prepare detailed minutes of the public hearing and retain and preserve any and all written evidence and exhibits presented; that an ordinance amending the zoning map be presented to the Council for passage and waive the first reading of said ordinance. On roll call, Ayes: Bauer, Bordenaro, Dirx and Siemann. Nays: Atherton and Schreck. Abstain: None. Absent: None. Motion carried 4-2.

\* \* \* \* \*

It was moved by Bordenaro, seconded by Dirlx, to approve Resolution No. 24-31, Supplemental Agreement for Additional Services #1 in the amount of \$34,450.00 with Snyder & Associates, Inc. for the U.S. 30 W. Sanitary Sewer & Watermain Extension - 2024 Project. On roll call, all present voted aye except Atherton voted nay. Abstain: None. Absent: None. Motion carried 5-1.

\* \* \* \* \*

It was moved by Dirx, seconded by Schreck, to accept the bid received from PKDW LLC and approve Resolution No. 24-32, Setting a Public Hearing for May 13, 2024, on the Proposed Sale of City Interest in 1114 N. Main Street. On roll call, all present voted aye. Nays: None. Abstain: Bauer. Absent: None. Motion carried 5-0.

\* \* \* \* \*

It was moved by Siemann, seconded by Atherton, to accept the Iowa Economic Development Authority's Downtown Design Guide. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

It was moved by Atherton, seconded by Bauer, to allocate \$315,000.00 from Local Option Sales Tax (LOST) to be reimbursed by tax increment financing (TIF) for downtown demonstration grants, downtown façade grants and a marketing plan for the City. Mark Beardmore, Carroll resident, addressed Council on this issue. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

\* \* \* \* \*

It was moved by Atherton, seconded by Bordenaro, to adjourn at 6:27 p.m. On roll call, all present voted aye. Nays: None. Abstain: None. Absent: None. Motion carried 6-0.

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Gerald H. Fleshner, Mayor

ATTEST:

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Laura A. Schaefer, City Clerk





Carroll, IA

# COUNCIL CLAIMS 5/13/2024

By Vendor Filed As

Payment Dates 4/23/2024 - 5/13/2024

Payable Number	Description (Item)	Payment Number	Payment Date	Amount
<b>Vendor Filed As: 003940 - A T &amp; T MOBILIT</b>				
287314044451X05062024	AIR CARDS AND CELL PHONES	131107	05/08/2024	782.16
287314044451X05062024	CELL PHONES	131107	05/08/2024	31.43
287314044451X05062024	CELL PHONES	131107	05/08/2024	13.47
<b>Vendor Filed As 003940 - A T &amp; T MOBILIT Total:</b>				<b>827.06</b>
<b>Vendor Filed As: 001720 - ACCESS SYSTEMS</b>				
INV1569324	COPIER CONTRACT			29.19
INV1569324	COPIER CONTRACT			133.28
<b>Vendor Filed As 001720 - ACCESS SYSTEMS Total:</b>				<b>162.47</b>
<b>Vendor Filed As: 001704 - ACCO</b>				
0241496-IN	FITTINGS			31.63
0241689-IN	CHEMICALS			71.38
<b>Vendor Filed As 001704 - ACCO Total:</b>				<b>103.01</b>
<b>Vendor Filed As: 001621 - ACE HARDWARE</b>				
324914	SUPPLIES			31.98
324918	SUPPLIES			39.98
324924	SUPPLIES			6.76
324925	SUPPLIES			7.98
324973	SUPPLIES			40.19
324977	SUPPLIES			61.97
324994	SUPPLIES			42.96
325000	SUPPLIES			20.18
325009	SUPPLIES			9.99
325018	SUPPLIES			24.58
325038	SUPPLIES			31.98
325046	ELECTRICAL CORD			19.99
325062	BOLT CUTTER AND HOOKS			32.98
325094	MP REPAIR PARTS			74.76
325099	SUPPLIES			16.98
325102	SUPPLIES			21.98
325125	ACETONE			12.99
325189	SUPPLIES			2.36
325219	TOOL BOX			16.99
325229	SUPPLIES			53.94
325230	GRAHAM PARK SHELTER REPA...			102.93
325236	FAUCET REPAIRS			9.99
325274	HOSE AND SUPPLIES			126.23
<b>Vendor Filed As 001621 - ACE HARDWARE Total:</b>				<b>810.67</b>
<b>Vendor Filed As: 003484 - ADAPTIVE AUDIOL</b>				
102339	PRE-EMPLOYMENT TESTING P...			35.00
<b>Vendor Filed As 003484 - ADAPTIVE AUDIOL Total:</b>				<b>35.00</b>
<b>Vendor Filed As: 001910 - AHLERS COONEY</b>				
865621	ZIEGLER - URP			34.00
<b>Vendor Filed As 001910 - AHLERS COONEY Total:</b>				<b>34.00</b>
<b>Vendor Filed As: 012650 - ALLIANT ENERGY-</b>				
INV0000575	GAS BILLS	131109	05/08/2024	116.39
INV0000575	GAS BILLS	131109	05/08/2024	422.67
INV0000575	GAS BILLS	131109	05/08/2024	555.32
INV0000575	GAS BILLS	131109	05/08/2024	174.59
INV0000575	GAS BILLS	131109	05/08/2024	112.19
INV0000575	GAS BILLS	131109	05/08/2024	200.32
INV0000575	GAS BILLS	131109	05/08/2024	4,618.75

COUNCIL CLAIMS 5/13/2024

Payment Dates: 4/23/2024 - 5/13/2024

Payable Number	Description (Item)	Payment Number	Payment Date	Amount
INV0000575	GAS BILLS	131109	05/08/2024	34.65
INV0000575	GAS BILLS	131109	05/08/2024	68.32
INV0000575	GAS BILLS	131109	05/08/2024	85.44
INV0000575	GAS BILLS	131109	05/08/2024	76.88
INV0000575	GAS BILLS	131109	05/08/2024	121.90
INV0000575	GAS BILLS	131109	05/08/2024	3,483.60
<b>Vendor Filed As 012650 - ALLIANT ENERGY- Total:</b>				<b>10,071.02</b>
<b>Vendor Filed As: 002861 - AMDOR, ANTHONY</b>				
INV0000567	CRITICAL INCIDENT TRAINING	131102	05/01/2024	102.64
<b>Vendor Filed As 002861 - AMDOR, ANTHONY Total:</b>				<b>102.64</b>
<b>Vendor Filed As: 036249 - ANDREW HUMPHREY</b>				
INV0000594	PARTIAL MEMBERSHIP REFU...			50.00
<b>Vendor Filed As 036249 - ANDREW HUMPHREY Total:</b>				<b>50.00</b>
<b>Vendor Filed As: 002650 - ANIMAL RESCUE O</b>				
INV0000571	FY 24 FUNDING REQUEST			5,000.00
<b>Vendor Filed As 002650 - ANIMAL RESCUE O Total:</b>				<b>5,000.00</b>
<b>Vendor Filed As: 002370 - ARNOLD MOTOR SU</b>				
07CR014463	STARTER			-81.94
07CR14411	#34 BATTERY RETURNED			-36.00
07NV137216	RUBBER GLOVES			17.69
07NV137505	SUPPLIES			83.19
07NV137814	#34 BATTERY			194.99
07NV138264	STARTER			81.94
<b>Vendor Filed As 002370 - ARNOLD MOTOR SU Total:</b>				<b>259.87</b>
<b>Vendor Filed As: 003050 - AXON ENTERPRISE</b>				
INUS243441	TASER BATTERY			314.40
<b>Vendor Filed As 003050 - AXON ENTERPRISE Total:</b>				<b>314.40</b>
<b>Vendor Filed As: 001943 - BAUER BUILT TIR</b>				
120182439	#32 TIRE REPAIRS	131104	05/07/2024	114.00
120185558	TIRE REPAIRS			100.82
<b>Vendor Filed As 001943 - BAUER BUILT TIR Total:</b>				<b>214.82</b>
<b>Vendor Filed As: 003515 - BOMGAARS</b>				
003515	CART WHEEL REPAIRS			45.98
21244237	SUPPLIES			42.36
21254134	CONCRETE BOOTS			19.99
21257947	CONCRETE BLADE			15.19
21258271	TOWER ANTENNA REPAIRS			12.05
21258283	SUPPLIES			9.61
21259523	TAR FOR STORM DRAIN			45.99
21260565	LIGHT BULBS SLOWPITCH FIEL...			15.99
21263212	TOOLS			58.98
21263240	TOILET REPAIRS			34.97
21263607	TOOLS			110.89
21263969.1	WEED TRIMMER STRING			13.69
21264258	HEAT GUN			64.98
21264712	BATTERY FOR BLOWER			69.99
21265109	REPAIR PARTS			8.99
21268706	SUPPLIES			67.44
21269632	WWTP SUPPLIES			38.72
<b>Vendor Filed As 003515 - BOMGAARS Total:</b>				<b>675.81</b>
<b>Vendor Filed As: 003661 - BREDA TELEPHONE</b>				
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	249.54
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	133.88
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	185.24
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	223.73
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	169.78
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	211.38
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	223.22

**COUNCIL CLAIMS 5/13/2024**

**Payment Dates: 4/23/2024 - 5/13/2024**

Payable Number	Description (Item)	Payment Number	Payment Date	Amount
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	400.68
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	219.91
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	138.74
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	438.80
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	381.32
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	300.98
10812225	LOCAL AND LONG DISTANCE	DFT0000188	05/02/2024	344.02

**Vendor Filed As 003661 - BREDA TELEPHONE Total: 3,621.22**

**Vendor Filed As: 003670 - BRIGGS INC OF O**

2305297-00	VALVE REPAIRS			76.82
2307186-00	REPAIR PARTS			9.22
2309941-00	EXPANSION TANK			349.73

**Vendor Filed As 003670 - BRIGGS INC OF O Total: 435.77**

**Vendor Filed As: 003693 - BRUNER & BRUNER**

3900	NUISANCE 1114 N MAIN ST.			1,107.00
3900	GENERAL			715.50
3901	POLICE AND MAGISTRATE			337.50
3902	ZONING AND SUBDIVISION			162.00
3903	PLANNING AND ZONING			27.00

**Vendor Filed As 003693 - BRUNER & BRUNER Total: 2,349.00**

**Vendor Filed As: 003791 - CAPITAL ONE**

00064	SUPPLIES			134.00
01824	SUPPLIES			23.94
05442	SUPPLIES			30.93
05445	WIPERS AND BATTERIES			56.85
05770	WWTP SUPPLIES			77.26
06147	0016404025050			16.82
08386	SUPPLIES			88.80
08511	SUPPLIES			13.73
08621	CLEANING SUPPLIES			17.52
08718	SUPPLIES			26.89
08777	WWTP SUPPLIES			48.64
09843	OFFICE SUPPLIES			23.42
09843	FIRST AID SUPPLIES			23.78

**Vendor Filed As 003791 - CAPITAL ONE Total: 582.58**

**Vendor Filed As: 004138 - CAPITAL SANITAR**

R078914	SUPPLIES			20.00
R078926	SUPPLIES			66.02
R078513B	TOILET PAPER			114.00
R078809	MP - SUPPLIES			222.27
R078815	HAND TOWELS			51.20
R078827	TOWELS			86.41
R078841	FLOOR CLEANER			213.50
R078851	CLEANING SUPPLIES			18.00
R078877	CLEANING SUPPLIES			67.92
R078893	TOILET PAPER			66.02

**Vendor Filed As 004138 - CAPITAL SANITAR Total: 925.34**

**Vendor Filed As: 004146 - CARROLL CONTROL**

4605	WATER HEATER REPAIRS			818.00
4606	BACKFLOW CHECK			100.00

**Vendor Filed As 004146 - CARROLL CONTROL Total: 918.00**

**Vendor Filed As: 004155 - CARROLL COUNTY**

INV0000572	GASOLINE			2,018.46
INV0000572	GASOLINE			50.11
INV0000572	GASOLINE			26.36
INV0000572	GASOLINE			138.75
INV0000572	GASOLINE			301.30
INV0000572	GASOLINE			82.11

**COUNCIL CLAIMS 5/13/2024**

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Payable Number	Description (Item)	Payment Number	Payment Date	Amount
INV0000572	GASOLINE			48.02
INV0000572	GASOLINE			13.23
INV0000572	GASOLINE			1,739.97
INV0000572	GASOLINE			675.83
INV0000572	GASOLINE			377.47
<b>Vendor Filed As 004155 - CARROLL COUNTY Total:</b>				<b>5,471.61</b>
<b>Vendor Filed As: 004165 - CARROLL COUNTY</b>				
20240501	REPLACE TILE AT OLD WWTP			969.00
<b>Vendor Filed As 004165 - CARROLL COUNTY Total:</b>				<b>969.00</b>
<b>Vendor Filed As: 004174 - CARROLL COUNTY</b>				
INV0000578	APRIL FINGERPRINTS			110.00
<b>Vendor Filed As 004174 - CARROLL COUNTY Total:</b>				<b>110.00</b>
<b>Vendor Filed As: 004183 - CARROLL COUNTY</b>				
INV0000542	LIEN FILING FEE - 502 E 7TH ST	131092	04/26/2024	5.00
INV0000562	LIEN FILING FEE - 502 E 7TH ST	131103	05/01/2024	5.00
<b>Vendor Filed As 004183 - CARROLL COUNTY Total:</b>				<b>10.00</b>
<b>Vendor Filed As: 004195 - CARROLL GLASS C</b>				
48747	MIRROR REPAIRS			778.64
<b>Vendor Filed As 004195 - CARROLL GLASS C Total:</b>				<b>778.64</b>
<b>Vendor Filed As: 002977 - CARROLL REFUSE</b>				
INV0000587	APRIL TRASH COLLECTIONS	131105	05/08/2024	13,480.17
<b>Vendor Filed As 002977 - CARROLL REFUSE Total:</b>				<b>13,480.17</b>
<b>Vendor Filed As: 004237 - CARROLL VETERIN</b>				
INV0000577	JUNE DOG CARE CONTRACT			650.00
<b>Vendor Filed As 004237 - CARROLL VETERIN Total:</b>				<b>650.00</b>
<b>Vendor Filed As: 001148 - CERTIFIED TESTI</b>				
SC47548	GEOTECHNICAL REPORT GOLF...			2,650.00
<b>Vendor Filed As 001148 - CERTIFIED TESTI Total:</b>				<b>2,650.00</b>
<b>Vendor Filed As: 001393 - CHAMPION FORD I</b>				
15604	#20 VEHICLE REPAIRS			937.07
15604A	PARTS CREDIT			-65.88
15889	#14 TIRE SENSOR & TIRE REPA...			152.18
<b>Vendor Filed As 001393 - CHAMPION FORD I Total:</b>				<b>1,023.37</b>
<b>Vendor Filed As: 002867 - CINTAS FIRST AI</b>				
5208199420	FIRST AID SUPPLIES			68.66
<b>Vendor Filed As 002867 - CINTAS FIRST AI Total:</b>				<b>68.66</b>
<b>Vendor Filed As: 004525 - CITY OF CARROLL</b>				
INV0000539	DOWNTOWN RESTROOM WA...	131093	04/26/2024	42.12
<b>Vendor Filed As 004525 - CITY OF CARROLL Total:</b>				<b>42.12</b>
<b>Vendor Filed As: 003633 - CLEANING SOLUTI</b>				
2283	APRIL CITY HALL CLEANING			2,080.00
2284	APRIL PD CLEANING			624.00
<b>Vendor Filed As 003633 - CLEANING SOLUTI Total:</b>				<b>2,704.00</b>
<b>Vendor Filed As: 002071 - COMPUTER REPAIR</b>				
17741	P & R DIRECTOR LAPTOP			995.00
17813	LAPTOP - CITY CLERK			1,145.00
17867	WATER METER TECH COMPU...			1,470.00
17908	COMPUTER ISSUES			900.00
17976	COMPUTER MONITOR			200.00
18006	MISC COMPUTER ISSUES			120.00
18020	LAPTOP SETUP P & R DIRECTOR			240.00
18020	LAPTOP SETUP CITY CLERK			240.00
18027	COMPUTER ISSUES			30.00
18043	COMPUTER - CRO DESK			1,340.00
18115	COMPUTER ISSUES			140.00
18117	COMPUTER BATTERY REPLAC...			114.00

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Payable Number	Description (Item)	Payment Number	Payment Date	Amount
18190	CLUBHOUSE COMPUTER SETUP			60.00
18192	COMPUTER ISSUES			120.00
18196	COMPUTER ISSUES			120.00
18206	COMPUTER ISSUES			180.00
18213	RENEW ANTI-VIRUS			90.00
18299	IP ADDRESSES & SET UP AZURE			240.00
<b>Vendor Filed As 002071 - COMPUTER REPAIR Total:</b>				<b>7,744.00</b>
<b>Vendor Filed As: 001384 - COPY SYSTEMS IN</b>				
IN520850	POSTAGE METER SUPPLIES			13.69
IN520850	POSTAGE METER SUPPLIES			15.42
IN520850	POSTAGE METER SUPPLIES			111.15
IN520850	POSTAGE METER SUPPLIES			71.61
IN520850	POSTAGE METER SUPPLIES			2.36
<b>Vendor Filed As 001384 - COPY SYSTEMS IN Total:</b>				<b>214.23</b>
<b>Vendor Filed As: 003214 - CORE-MARK MIDCO</b>				
1543322	SPRING SOCCER CONCESSIONS			462.85
<b>Vendor Filed As 003214 - CORE-MARK MIDCO Total:</b>				<b>462.85</b>
<b>Vendor Filed As: 003617 - CU SPARKLE</b>				
INV-2348	WINDOW CLEANING			230.00
<b>Vendor Filed As 003617 - CU SPARKLE Total:</b>				<b>230.00</b>
<b>Vendor Filed As: 005395 - D &amp; K PRODUCTS</b>				
76648IN	FERTILIZER & GRASS SEED			168.50
77079IN	GRASS SEED			540.00
<b>Vendor Filed As 005395 - D &amp; K PRODUCTS Total:</b>				<b>708.50</b>
<b>Vendor Filed As: 000854 - DEARBORN NATION</b>				
INV0000564	MAY LIFE INSURANCE PREMI...	131100	05/01/2024	380.61
<b>Vendor Filed As 000854 - DEARBORN NATION Total:</b>				<b>380.61</b>
<b>Vendor Filed As: 005645 - DEPARTMENT OF P</b>				
692	APR-JUNE 2024 IOWA SYSTEM			631.50
<b>Vendor Filed As 005645 - DEPARTMENT OF P Total:</b>				<b>631.50</b>
<b>Vendor Filed As: 003618 - DIRECT MAILER</b>				
5475	1114 N MAIN NOTICE TO BID...			220.00
<b>Vendor Filed As 003618 - DIRECT MAILER Total:</b>				<b>220.00</b>
<b>Vendor Filed As: 012590 - ECHO ELECTRIC S</b>				
S010576938.001	WEATHER SIREN REPAIRS BEL...			60.41
S010609709.001	BLACK TAPE			80.80
<b>Vendor Filed As 012590 - ECHO ELECTRIC S Total:</b>				<b>141.21</b>
<b>Vendor Filed As: 003971 - EMPLOYEE BENEFIT</b>				
INV0000581	HRA CHECKS	DFT0000184	04/30/2024	162.05
INV0000583	HRA CHECKS	DFT0000186	05/03/2024	104.50
<b>Vendor Filed As 003971 - EMPLOYEE BENEFIT Total:</b>				<b>266.55</b>
<b>Vendor Filed As: 008050 - FASTENAL COMPAN</b>				
IACAR195168	SCREWS			26.80
<b>Vendor Filed As 008050 - FASTENAL COMPAN Total:</b>				<b>26.80</b>
<b>Vendor Filed As: 006860 - FELD FIRE EQUIP</b>				
0438737-IN	HYDROTEST CASCADE SYSTEM			675.00
<b>Vendor Filed As 006860 - FELD FIRE EQUIP Total:</b>				<b>675.00</b>
<b>Vendor Filed As: 002700 - FERRIN, JUSTIN</b>				
INV0000540	LEADERSHIP SEMINAR EXPEN...	131088	04/26/2024	355.44
<b>Vendor Filed As 002700 - FERRIN, JUSTIN Total:</b>				<b>355.44</b>
<b>Vendor Filed As: 036210 - FIRST CLASS MULTISERVICES INC</b>				
INV0000570	NIGHT CLEANING 3/31/24-04...			1,402.68
<b>Vendor Filed As 036210 - FIRST CLASS MULTISERVICES INC Total:</b>				<b>1,402.68</b>

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Payable Number	Description (Item)	Payment Number	Payment Date	Amount
<b>Vendor Filed As: 002806 - FOUNDATION ANAL</b>				
24-02007	LAB TESTING			1,519.25
		<b>Vendor Filed As 002806 - FOUNDATION ANAL Total:</b>		<b>1,519.25</b>
<b>Vendor Filed As: 003534 - FUSEBOX MARKETI</b>				
8171	MAY WEB MAINTENANCE			255.00
		<b>Vendor Filed As 003534 - FUSEBOX MARKETI Total:</b>		<b>255.00</b>
<b>Vendor Filed As: 009500 - GEHLING WELDING</b>				
154585	#33 PAYLOADER REPAIRS			1,196.72
		<b>Vendor Filed As 009500 - GEHLING WELDING Total:</b>		<b>1,196.72</b>
<b>Vendor Filed As: 009535 - GENERAL RENTAL</b>				
215747	GRINDER			115.00
215966	PROPANE			42.00
		<b>Vendor Filed As 009535 - GENERAL RENTAL Total:</b>		<b>157.00</b>
<b>Vendor Filed As: 001992 - GOLF SERVICES L</b>				
INV0000574	MAY CLUBHOUSE MANAGER			4,100.00
		<b>Vendor Filed As 001992 - GOLF SERVICES L Total:</b>		<b>4,100.00</b>
<b>Vendor Filed As: 010150 - GRAINGER PARTS</b>				
908901514	ICE MACHINE FILTER			178.73
908901514	ICE MACHINE FILTER			178.72
		<b>Vendor Filed As 010150 - GRAINGER PARTS Total:</b>		<b>357.45</b>
<b>Vendor Filed As: 010156 - GRAPHIC EDGE LL</b>				
10247717	SHIRTS			227.88
10250443	SHIRTS			24.99
10250444	SHIRTS			24.99
10250445	24.99			24.99
		<b>Vendor Filed As 010156 - GRAPHIC EDGE LL Total:</b>		<b>302.85</b>
<b>Vendor Filed As: 036248 - H &amp; H CUSTOM HOMES</b>				
INV0000595	HOUSING INCENTIVE - 1001 ...			20,000.00
		<b>Vendor Filed As 036248 - H &amp; H CUSTOM HOMES Total:</b>		<b>20,000.00</b>
<b>Vendor Filed As: 036246 - HANNAH PUDENZ</b>				
INV0000593	LIFEGUARDING CLASS REFUND			165.00
		<b>Vendor Filed As 036246 - HANNAH PUDENZ Total:</b>		<b>165.00</b>
<b>Vendor Filed As: 005635 - HOLIDAY INN AIR</b>				
491328	IMFOA SPRING CONFERENCE			237.44
		<b>Vendor Filed As 005635 - HOLIDAY INN AIR Total:</b>		<b>237.44</b>
<b>Vendor Filed As: 012635 - IOWA DEPARTMENT</b>				
CI-0021110	PAINT			5,382.70
		<b>Vendor Filed As 012635 - IOWA DEPARTMENT Total:</b>		<b>5,382.70</b>
<b>Vendor Filed As: 012625 - IOWA DEPT OF NA</b>				
INV0000579	NPDES STORMWATER PERMIT...			175.00
		<b>Vendor Filed As 012625 - IOWA DEPT OF NA Total:</b>		<b>175.00</b>
<b>Vendor Filed As: 012630 - IOWA DEPT OF PU</b>				
CI-0017900	SQUAD PAPER			297.00
		<b>Vendor Filed As 012630 - IOWA DEPT OF PU Total:</b>		<b>297.00</b>
<b>Vendor Filed As: 012652 - IOWA GOLF ASSOC</b>				
5023	18 HOLE MEMBERSHIP DUES			250.00
		<b>Vendor Filed As 012652 - IOWA GOLF ASSOC Total:</b>		<b>250.00</b>
<b>Vendor Filed As: 003982 - IOWA INFORMATIO</b>				
34491	1114 N MAIN ST - REQUEST F...			66.96
34492	LEGAL PUBLICATIONS			1,105.02
34492	LEGAL PUBLICATIONS			27.37
		<b>Vendor Filed As 003982 - IOWA INFORMATIO Total:</b>		<b>1,199.35</b>
<b>Vendor Filed As: 012666 - IOWA ONE CALL</b>				
260343	MARCH ONE CALLS			91.80
		<b>Vendor Filed As 012666 - IOWA ONE CALL Total:</b>		<b>91.80</b>

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Payable Number	Description (Item)	Payment Number	Payment Date	Amount
<b>Vendor Filed As: 012678 - IOWA PRISON IND</b>				
042995	GRASS ORDINANCE NOTICES			181.50
				181.50
<b>Vendor Filed As 012678 - IOWA PRISON IND Total:</b>				<b>181.50</b>
<b>Vendor Filed As: 012685 - IOWA SMALL ENGI</b>				
138741	CHAINS FOR SAW			147.82
				147.82
<b>Vendor Filed As 012685 - IOWA SMALL ENGI Total:</b>				<b>147.82</b>
<b>Vendor Filed As: 003722 - iSOLVED BENEFIT</b>				
INV0000584	APRIL FLEX SPENDING PARTIC...	DFT0000187	05/07/2024	82.80
				82.80
<b>Vendor Filed As 003722 - iSOLVED BENEFIT Total:</b>				<b>82.80</b>
<b>Vendor Filed As: 013917 - JEO CONSULTING</b>				
150263	2022 STORMWATER IMPROV...			16,138.80
150283	CONSTRUCTION SERVICES			1,464.80
150286	GC PROPERTY DEVELOPMENT			1,779.00
				19,382.60
<b>Vendor Filed As 013917 - JEO CONSULTING Total:</b>				<b>19,382.60</b>
<b>Vendor Filed As: 003243 - JET'S OUTDOOR P</b>				
16888	GOLF CART CARBURETOR			94.00
				94.00
<b>Vendor Filed As 003243 - JET'S OUTDOOR P Total:</b>				<b>94.00</b>
<b>Vendor Filed As: 036247 - JULIE EFFRON</b>				
INV0000592	ACTIVITIES ROOM REFUND			30.00
				30.00
<b>Vendor Filed As 036247 - JULIE EFFRON Total:</b>				<b>30.00</b>
<b>Vendor Filed As: 014520 - KASPERBAUER CLE</b>				
174288	LAUNDER RUGS			156.33
				156.33
<b>Vendor Filed As 014520 - KASPERBAUER CLE Total:</b>				<b>156.33</b>
<b>Vendor Filed As: 002627 - KATHOL, ETHAN</b>				
INV0000563	TRAVEL EXPENSE	131101	05/01/2024	9.73
INV0000566	CRITICAL INCIDENT REVIEW	131101	05/01/2024	229.91
				239.64
<b>Vendor Filed As 002627 - KATHOL, ETHAN Total:</b>				<b>239.64</b>
<b>Vendor Filed As: 001345 - KELTEK INCORPOR</b>				
10523	COMPUTER AND PRINTER			5,124.77
				5,124.77
<b>Vendor Filed As 001345 - KELTEK INCORPOR Total:</b>				<b>5,124.77</b>
<b>Vendor Filed As: 001550 - KING CONSTRUCTI</b>				
2229	EMERGENCY WATER MAIN RE...			39,557.82
				39,557.82
<b>Vendor Filed As 001550 - KING CONSTRUCTI Total:</b>				<b>39,557.82</b>
<b>Vendor Filed As: 002453 - LAMBERTZ, JASON</b>				
165566	PRODUCTION COSTS			1,140.00
				1,140.00
<b>Vendor Filed As 002453 - LAMBERTZ, JASON Total:</b>				<b>1,140.00</b>
<b>Vendor Filed As: 002698 - LANDSCAPERS PAR</b>				
0000132920	STRAW BLANKET			124.90
				124.90
<b>Vendor Filed As 002698 - LANDSCAPERS PAR Total:</b>				<b>124.90</b>
<b>Vendor Filed As: 036212 - LIGHTSPEED COMMERCE INC</b>				
INV0000582	APRIL CC PROCESSING FEES	DFT0000185	04/30/2024	207.93
				207.93
<b>Vendor Filed As 036212 - LIGHTSPEED COMMERCE INC Total:</b>				<b>207.93</b>
<b>Vendor Filed As: 002752 - MASTER METER SY</b>				
270839	SOFTWARE SUPPORT			1,925.00
				1,925.00
<b>Vendor Filed As 002752 - MASTER METER SY Total:</b>				<b>1,925.00</b>
<b>Vendor Filed As: 002993 - MC CLURE ENGINE</b>				
151720	CBD STREET RESURFACING			53,400.00
				53,400.00
<b>Vendor Filed As 002993 - MC CLURE ENGINE Total:</b>				<b>53,400.00</b>
<b>Vendor Filed As: 017220 - MC FARLAND CLIN</b>				
INV0000569	FIREFIGHTER PHYSICALS			338.00
INV0000569	PRE-EMPLOY PHYSICAL GOLW...			36.00
				374.00
<b>Vendor Filed As 017220 - MC FARLAND CLIN Total:</b>				<b>374.00</b>
<b>Vendor Filed As: 003966 - MICROBAC LABORA</b>				
NT2402514	SAMPLE ANALYSIS			107.25
NT2403495	SAMPLE ANALYSIS			107.25
				214.50

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NT2403506	SAMPLE ANALYSIS			34.00
<b>Vendor Filed As 003966 - MICROBAC LABORA Total:</b>				<b>248.50</b>
<b>Vendor Filed As: 012680 - MID AMERICAN EN</b>				
INV0000580	ELECTRIC BILLS	131110	05/08/2024	539.13
INV0000580	ELECTRIC BILLS	131110	05/08/2024	245.40
INV0000580	ELECTRIC BILLS	131110	05/08/2024	168.50
INV0000580	ELECTRIC BILLS	131110	05/08/2024	14,778.75
INV0000580	ELECTRIC BILLS	131110	05/08/2024	653.79
INV0000580	ELECTRIC BILLS	131110	05/08/2024	808.69
INV0000580	ELECTRIC BILLS	131110	05/08/2024	866.97
INV0000580	ELECTRIC BILLS	131110	05/08/2024	100.24
INV0000580	ELECTRIC BILLS	131110	05/08/2024	530.77
INV0000580	ELECTRIC BILLS	131110	05/08/2024	54.51
INV0000580	ELECTRIC BILLS	131110	05/08/2024	5,072.83
INV0000580	ELECTRIC BILLS	131110	05/08/2024	79.42
INV0000580	ELECTRIC BILLS	131110	05/08/2024	125.84
INV0000580	ELECTRIC BILLS	131110	05/08/2024	191.98
INV0000580	ELECTRIC BILLS	131110	05/08/2024	721.54
INV0000580	ELECTRIC BILLS	131110	05/08/2024	41.17
INV0000580	ELECTRIC BILLS	131110	05/08/2024	621.88
INV0000580	ELECTRIC BILLS	131110	05/08/2024	26.42
INV0000580	ELECTRIC BILLS	131110	05/08/2024	322.81
INV0000580	ELECTRIC BILLS	131110	05/08/2024	201.93
INV0000580	ELECTRIC BILLS	131110	05/08/2024	1,302.07
INV0000580	ELECTRIC BILLS	131110	05/08/2024	3,446.87
INV0000580	ELECTRIC BILLS	131110	05/08/2024	1,097.45
INV0000580	ELECTRIC BILLS	131110	05/08/2024	6,831.94
INV0000580	ELECTRIC BILLS	131110	05/08/2024	135.38
<b>Vendor Filed As 012680 - MID AMERICAN EN Total:</b>				<b>38,966.28</b>
<b>Vendor Filed As: 002729 - MIDCO DIVING &amp;</b>				
5505	WATER RESERVOIR CLEANING			14,086.00
<b>Vendor Filed As 002729 - MIDCO DIVING &amp; Total:</b>				<b>14,086.00</b>
<b>Vendor Filed As: 017585 - MIDWEST WHOLESA</b>				
580306	SUPPLIES			84.80
580418	CONCRETE			59.40
<b>Vendor Filed As 017585 - MIDWEST WHOLESA Total:</b>				<b>144.20</b>
<b>Vendor Filed As: 001202 - MOBILE BLASTING</b>				
2463	SANDBLASTING GRAHAM PARK			275.00
2464	BLAST CARROLL CEMETERY F...			2,500.00
<b>Vendor Filed As 001202 - MOBILE BLASTING Total:</b>				<b>2,775.00</b>
<b>Vendor Filed As: 017730 - MOORHOUSE READY</b>				
1090	LITTLE LEAGUE FIELD CONCRE...			279.00
<b>Vendor Filed As 017730 - MOORHOUSE READY Total:</b>				<b>279.00</b>
<b>Vendor Filed As: 018408 - NAPA AUTO PARTS</b>				
067937	BATTERY			143.81
069129	#28 REFLECTIVE TAPE			258.87
069547	SUPPLIES			139.02
069562	FILTER			13.88
069844	#29 WIRING			13.11
070544	#29 FUSE			8.98
070717	CONCRETE SAW FILTER			25.19
070742	FILTER RETURNED			-15.92
<b>Vendor Filed As 018408 - NAPA AUTO PARTS Total:</b>				<b>586.94</b>
<b>Vendor Filed As: 036244 - MATTHEW A WARE</b>				
INV0000573	CEMETERY STUMP REMOVAL			990.00
<b>Vendor Filed As 036244 - MATTHEW A WARE Total:</b>				<b>990.00</b>
<b>Vendor Filed As: 003263 - NETBANX</b>				
INV0000545	MARCH EFT PROCESSING FEES	DFT0000173	04/26/2024	89.50



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INV0000545	MARCH EFT PROCESSING FEES	DFT0000173	04/26/2024	0.59
<b>Vendor Filed As 003263 - NETBANX Total:</b>				<b>90.18</b>
<b>Vendor Filed As: 001792 - NEW OPPORTUNITI</b>				
PY24-2	FY 24 FUNDING - FINAL			5,657.60
<b>Vendor Filed As 001792 - NEW OPPORTUNITI Total:</b>				<b>5,657.60</b>
<b>Vendor Filed As: 020203 - OFFICE STOP, TH</b>				
319272	OFFICE SUPPLIES			26.43
319272	OFFICE SUPPLIES			15.00
<b>Vendor Filed As 020203 - OFFICE STOP, TH Total:</b>				<b>41.43</b>
<b>Vendor Filed As: 021050 - P &amp; H WHOLESALE</b>				
S2960881.001	RESTROOM REPAIR PARTS	131111	05/08/2024	158.00
S2962474.001	SUPPLIES	131111	05/08/2024	15.58
S2957445.001	DRAIN REPAIRS			19.50
<b>Vendor Filed As 021050 - P &amp; H WHOLESALE Total:</b>				<b>193.08</b>
<b>Vendor Filed As: 021220 - PEPSI BEVERAGES</b>				
36075003	SOCCER CONCESSIONS			2,497.36
<b>Vendor Filed As 021220 - PEPSI BEVERAGES Total:</b>				<b>2,497.36</b>
<b>Vendor Filed As: 001949 - PERFORMANCE TIR</b>				
0175518	#35 SWEEPER BRAKE REPAIRS			278.00
0175643	TIRE REPAIRS			16.05
0175673	TIRE			163.00
0175711	TIRE REPAIRS			29.96
0175744	#15 OIL CHANGE			92.50
0175745	#20 OIL CHANGE			40.33
0175746	#19 OIL CHANGE			37.63
0175752	#18 OIL CHANGE			40.33
0175753	#17 OIL CHANGE			39.43
0175770	MOWER TIRE REPAIRS			16.05
<b>Vendor Filed As 001949 - PERFORMANCE TIR Total:</b>				<b>753.28</b>
<b>Vendor Filed As: 001127 - PIONEER MANUFAC</b>				
INV924148	MARKING PAINT - SOCCER			1,351.55
<b>Vendor Filed As 001127 - PIONEER MANUFAC Total:</b>				<b>1,351.55</b>
<b>Vendor Filed As: 003127 - PLANET TECHNOLO</b>				
I009611	0365 LICENSE			40.48
I009611	0365 LICENSE			40.48
<b>Vendor Filed As 003127 - PLANET TECHNOLO Total:</b>				<b>80.96</b>
<b>Vendor Filed As: 021735 - POSTMASTER</b>				
INV0000549	POSTAGE TO MAIL WATER BIL...	131094	04/26/2024	1,860.96
<b>Vendor Filed As 021735 - POSTMASTER Total:</b>				<b>1,860.96</b>
<b>Vendor Filed As: 003741 - QUADIENT FINANC</b>				
INV0000576	POSTAGE	131106	05/08/2024	255.56
INV0000576	POSTAGE	131106	05/08/2024	287.98
INV0000576	POSTAGE	131106	05/08/2024	2,075.43
INV0000576	POSTAGE	131106	05/08/2024	1,337.07
INV0000576	POSTAGE	131106	05/08/2024	43.96
<b>Vendor Filed As 003741 - QUADIENT FINANC Total:</b>				<b>4,000.00</b>
<b>Vendor Filed As: 001136 - R &amp; R SEPTIC SE</b>				
14938	PORTABLE RESTROOM RENTAL			300.00
<b>Vendor Filed As 001136 - R &amp; R SEPTIC SE Total:</b>				<b>300.00</b>
<b>Vendor Filed As: 004030 - RASCH CONSTRUCT</b>				
INV0000590	ADAMS ST RECONSTRUCTION ...			8,724.73
<b>Vendor Filed As 004030 - RASCH CONSTRUCT Total:</b>				<b>8,724.73</b>
<b>Vendor Filed As: 023640 - RAY'S REFUSE SE</b>				
INV0000589	APRIL TRASH COLLECTIONS	131112	05/08/2024	36,623.26
INV0000596	APRIL GARBAGE PCIKUP			39.68
INV0000596	APRIL GARBAGE PCIKUP			54.94

Payable Number	Description (Item)	Payment Number	Payment Date	Amount
INV0000596	APRIL GARBAGE PCIKUP			39.68
INV0000596	APRIL GARBAGE PCIKUP			130.80
INV0000596	APRIL GARBAGE PCIKUP			193.41
INV0000596	APRIL RECYCLING			45.00
INV0000596	APRIL GARBAGE PCIKUP			119.00
INV0000596	APRIL GARBAGE PCIKUP			148.79
INV0000596	APRIL GARBAGE PCIKUP			52.32
INV0000596	APRIL GARBAGE PCIKUP			82.40
INV0000596	APRIL GARBAGE PCIKUP			29.73
INV0000596	APRIL RECYCLING			9.92
INV0000596	APRIL GARBAGE PCIKUP			225.09
INV0000596	APRIL GARBAGE PCIKUP			136.00
<b>Vendor Filed As 023640 - RAY'S REFUSE SE Total:</b>				<b>37,930.02</b>
<b>Vendor Filed As: 023815 - REGION XII COG</b>				
INV0000586	APRIL TAXI PROGRAM DONAT...	131113	05/08/2024	1,225.00
INV0000591	HF2401 PROJECT #1			30,000.00
<b>Vendor Filed As 023815 - REGION XII COG Total:</b>				<b>31,225.00</b>
<b>Vendor Filed As: 002987 - RIESBERG AUDIO</b>				
9287	#15 EQUIPMENT & DECAL RE...			750.00
<b>Vendor Filed As 002987 - RIESBERG AUDIO Total:</b>				<b>750.00</b>
<b>Vendor Filed As: 036250 - RR BOWMAN TRUCKING LLC</b>				
3359	RED BALL			1,701.00
3359	RED BALL			1,884.00
<b>Vendor Filed As 036250 - RR BOWMAN TRUCKING LLC Total:</b>				<b>3,585.00</b>
<b>Vendor Filed As: 024630 - RUTTEN'S VACUUM</b>				
013592	VACUUM BAGS			22.99
<b>Vendor Filed As 024630 - RUTTEN'S VACUUM Total:</b>				<b>22.99</b>
<b>Vendor Filed As: 036243 - RYAN HANLIN</b>				
INV0000546	HAZMAT TRAINING	131097	04/26/2024	100.00
<b>Vendor Filed As 036243 - RYAN HANLIN Total:</b>				<b>100.00</b>
<b>Vendor Filed As: 024905 - SAFETY-KLEEN CO</b>				
94246941	PARTS WASHER			293.34
<b>Vendor Filed As 024905 - SAFETY-KLEEN CO Total:</b>				<b>293.34</b>
<b>Vendor Filed As: 000560 - SCHAEFER, LAURA</b>				
INV0000548	IMFOA SPRING CONFERENCE	131087	04/26/2024	140.68
<b>Vendor Filed As 000560 - SCHAEFER, LAURA Total:</b>				<b>140.68</b>
<b>Vendor Filed As: 000155 - SHIVE HATTERY I</b>				
4216091-3	GRAHAM PARK BANK SHELL R...			3,375.00
<b>Vendor Filed As 000155 - SHIVE HATTERY I Total:</b>				<b>3,375.00</b>
<b>Vendor Filed As: 025333 - SNYDER &amp; ASSOCI</b>				
123.1363.09-4	US 30 SS & WATERMAIN EXTE...			8,600.00
<b>Vendor Filed As 025333 - SNYDER &amp; ASSOCI Total:</b>				<b>8,600.00</b>
<b>Vendor Filed As: 025606 - SOPPE CHIROPAC</b>				
876A	PRE-EMPLOYMENT PHYSICALS			400.00
897A-sent	PRE-EMPLOY PHYSICALS/DRU...			320.00
<b>Vendor Filed As 025606 - SOPPE CHIROPAC Total:</b>				<b>720.00</b>
<b>Vendor Filed As: 028180 - STATE HYGIENIC</b>				
277413	SAMPLE ANALYSIS			116.00
277415	WATER SAMPLE ANALYSIS			45.50
<b>Vendor Filed As 028180 - STATE HYGIENIC Total:</b>				<b>161.50</b>
<b>Vendor Filed As: 025880 - STONE PRINTING</b>				
110409	OFFICE SUPPLIES			39.56
11835	BINDERS & SHEET PROTECTO...			33.94
P7138	CARROLL COUNTY POOL PASS			103.35
P7434	AQUATIC DAILY ADMISSION T...			139.00
P7435	AQUATIC RAIN DAY PASS			91.80

COUNCIL CLAIMS 5/13/2024

Payment Dates: 4/23/2024 - 5/13/2024

Payable Number	Description (Item)	Payment Number	Payment Date	Amount
P7445	OFFICE SUPPLIES			277.50
P7467	CALL SHEETS			151.65
P7546	CITY OF CARROLL LETTERHEAD			172.00
<b>Vendor Filed As: 036242 - TEAM WTI</b>				
22202	1 YEAR WEB HOSTING	131096	04/26/2024	200.00
<b>Vendor Filed As 036242 - TEAM WTI Total:</b>				<b>200.00</b>
<b>Vendor Filed As: 001705 - TITAN MACHINERY</b>				
19434768-GS	#33 A/C REPAIRS			2,668.27
<b>Vendor Filed As 001705 - TITAN MACHINERY Total:</b>				<b>2,668.27</b>
<b>Vendor Filed As: 027060 - TREASURER OF IO</b>				
INV0000547	MARCH SALES TAX	DFT0000174	04/26/2024	645.27
INV0000547	MARCH SALES TAX	DFT0000174	04/26/2024	2,595.49
INV0000547	MARCH SALES TAX	DFT0000174	04/26/2024	749.53
INV0000547	MARCH SALES TAX	DFT0000174	04/26/2024	21.26
INV0000547	MARCH SALES TAX	DFT0000174	04/26/2024	6,022.32
INV0000547	MARCH SALES TAX	DFT0000174	04/26/2024	2,762.40
INV0000547	MARCH SALES TAX	DFT0000174	04/26/2024	588.98
<b>Vendor Filed As 027060 - TREASURER OF IO Total:</b>				<b>13,385.25</b>
<b>Vendor Filed As: 027079 - TRIPLE A SEEDS</b>				
32849	GRASS SEED			112.50
32948	SEED AND EROSION MAT			176.25
<b>Vendor Filed As 027079 - TRIPLE A SEEDS Total:</b>				<b>288.75</b>
<b>Vendor Filed As: 027085 - TROPHIES PLUS I</b>				
383074	PLAQUE - CHRISTY KUHLMANN			29.99
383276	PLAQUE - MARY BRUNER			17.95
<b>Vendor Filed As 027085 - TROPHIES PLUS I Total:</b>				<b>47.94</b>
<b>Vendor Filed As: 003220 - TURFWERKS</b>				
J187023	REPAIR PARTS			511.84
J189022	EQUIPMENT REPAIRS			591.54
W118802	REPAIR PARTS			1,422.10
WW02938	IRRIGATION SYSTEM REPAIRS			2,495.45
<b>Vendor Filed As 003220 - TURFWERKS Total:</b>				<b>5,020.93</b>
<b>Vendor Filed As: 001088 - TYLER TECHNOLOG</b>				
025-462963	INCODE 10 MIGRATION - PER...			210.00
<b>Vendor Filed As 001088 - TYLER TECHNOLOG Total:</b>				<b>210.00</b>
<b>Vendor Filed As: 028174 - UNITED STATES C</b>				
0647508370	CELL PHONES	131095	04/26/2024	40.33
0647508370	CELL PHONES	131095	04/26/2024	13.44
0647508370	CELL PHONES	131095	04/26/2024	76.46
0647508370	CELL PHONES	131095	04/26/2024	13.44
0647508370	CELL PHONES	131095	04/26/2024	13.44
0647508370	CELL PHONES	131095	04/26/2024	59.21
<b>Vendor Filed As 028174 - UNITED STATES C Total:</b>				<b>216.32</b>
<b>Vendor Filed As: 002449 - UNITYPOINT CLIN</b>				
222647	PRE-EMPLOYMENT PHYSICALS			168.00
<b>Vendor Filed As 002449 - UNITYPOINT CLIN Total:</b>				<b>168.00</b>
<b>Vendor Filed As: 028435 - UTILITY EQUIPME</b>				
20057246-000	FULL CIRCLE CLAMPS			488.54
<b>Vendor Filed As 028435 - UTILITY EQUIPME Total:</b>				<b>488.54</b>
<b>Vendor Filed As: 029010 - VEENSTRA &amp; KIMM</b>				
27366-4	WWTP DIGESTER/VLR AIR PIP...			9,265.56
<b>Vendor Filed As 029010 - VEENSTRA &amp; KIMM Total:</b>				<b>9,265.56</b>
<b>Vendor Filed As: 002468 - VFW</b>				
914794	U.S. FLAGS			65.00
914794	U.S. FLAGS			65.00

**COUNCIL CLAIMS 5/13/2024**

**Payment Dates: 4/23/2024 - 5/13/2024**

Payable Number	Description (Item)	Payment Number	Payment Date	Amount
914794	U.S. FLAGS			65.00
<b>Vendor Filed As 002468 - VFW Total:</b>				<b>195.00</b>
<b>Vendor Filed As: 003377 - WELLMARK BLUE C</b>				
INV0000543	MAY HEALTH INSURANCE PR...	131089	04/26/2024	44,721.85
<b>Vendor Filed As 003377 - WELLMARK BLUE C Total:</b>				<b>44,721.85</b>
<b>Vendor Filed As: 002590 - WENDL'S WEAPONS</b>				
1343	RANGE MEMBERSHIP	131086	04/23/2024	1,600.00
<b>Vendor Filed As 002590 - WENDL'S WEAPONS Total:</b>				<b>1,600.00</b>
<b>Vendor Filed As: 030355 - WITTRUCK MOTOR</b>				
252628	#15 BUMPER GRILLE REPAIR			698.00
<b>Vendor Filed As 030355 - WITTRUCK MOTOR Total:</b>				<b>698.00</b>
<b>Vendor Filed As: 003291 - WORLDWAY INTEGR</b>				
INV0000544	MARCH IN OFFICE CC PROCESS..	DFT0000172	04/26/2024	3.95
INV0000544	MARCH ONLINE CC PROCESSI...	DFT0000172	04/26/2024	4.88
INV0000544	MARCH CC PROCESSING FEES	DFT0000172	04/26/2024	488.50
INV0000544	MARCH ONLINE CC PROCESSI...	DFT0000172	04/26/2024	19.89
INV0000544	MARCH IN OFFICE CC PROCESS..	DFT0000172	04/26/2024	387.24
INV0000544	MARCH ONLINE CC PROCESSI...	DFT0000172	04/26/2024	514.98
INV0000544	MARCH IN OFFICE CC PROCESS..	DFT0000172	04/26/2024	35.76
INV0000544	MARCH ONLINE CC PROCESSI...	DFT0000172	04/26/2024	13.20
INV0000544	MARCH ONLINE CC PROCESSI...	DFT0000172	04/26/2024	-1.95
<b>Vendor Filed As 003291 - WORLDWAY INTEGR Total:</b>				<b>1,466.45</b>
<b>Vendor Filed As: 003970 - WORLDWIDE EXPRE</b>				
2404099780	FREIGHT W/E 4/17/2024	131090	04/26/2024	41.31
2404133246	FREIGHT W/E 4/24/2024	131091	04/26/2024	12.89
2404133246	FREIGHT W/E 4/24/2024	131091	04/26/2024	23.85
2405012974	FREIGHT W/E 5/1/2024	131108	05/08/2024	16.90
<b>Vendor Filed As 003970 - WORLDWIDE EXPRE Total:</b>				<b>94.95</b>
<b>Vendor Filed As: 000386 - ZIMCO SUPPLY CO</b>				
192557	FERTILIZER			318.75
<b>Vendor Filed As 000386 - ZIMCO SUPPLY CO Total:</b>				<b>318.75</b>
<b>Grand Total:</b>				<b>479,359.23</b>

## Report Summary

### Fund Summary

Fund	Expense Amount	Payment Amount
001 - GENERAL FUND	170,458.41	98,390.93
010 - HOTEL/MOTEL TAX	3,697.81	322.81
100 - FEDERAL GRANTS SR FUND	20,000.00	0.00
110 - ROAD USE TAX FUND	13,247.81	315.93
121 - LOCAL OPTION SALES TAX	32,542.12	42.12
304 - C.P. STREETS	62,299.73	0.00
311 - C.P.-PARKS & RECREATION	27.37	0.00
316 - C.P. - UTILITY FUND	13,029.00	0.00
600 - WATER UTILITY FUND	74,954.28	16,034.88
602 - WATER UTILITY CAP. IMP.	1,464.80	0.00
610 - SEWER UTILITY FUND	16,275.55	13,601.30
612 - SEWER UTILITY CAP. IMP.	9,265.56	0.00
620 - STORM WATER UTILITY	588.98	588.98
621 - STORM WATER CAP. IMP.	16,138.80	0.00
850 - MEDICAL INSURANCE FUND	45,369.01	45,369.01
<b>Grand Total:</b>	<b>479,359.23</b>	<b>174,665.96</b>

Gross payroll \$212,896.67

# City of Carroll

627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** Aaron Kooiker, City Manager *AK*

**FROM:** Chad Tiemeyer, Director of Parks and Recreation *CT*

**DATE:** April 29, 2024

**SUBJECT:** Bid Opening Report- Batting Cages

Last week, bids were opened and reviewed for the North Youth Sports Complex Batting Cage Project. This project started in fall of 2023 with some tear out and ground prep, then concrete was installed in early April of this year. The bids are for installing turf onto the concrete surface of the batting cages.

The lowest responsive/responsible bid:

Loew's Carpet and Vinyl Sales \$11,888.25

Money budgeted for project: \$25,000.00

**RECOMMENDATION:** Mayor and City Council consideration and approval for the bid for installing turf over the batting cage concrete to Loew's Carpet and Vinyl Sales in the amount of \$11,888.25.

LOEW'S CARPET AND VINYL SALES  
 438 LINCOLN STREET  
 CARROLL, IA 51401  
 712-792-4785  
 712-210-0095  
 jrloew72@hotmail.com

# ESTIMATE

*"Everyday Loew Loew Prices"*

Date: 04/26/24

To City of Carroll  
 East 5<sup>th</sup> Street  
 Carroll, IA 51401  
 Chad Tiemeyer  
 712-246-9145

Salesperson	Job	Payment Terms	Due Date
Junior Loew	Batting Cage Turf	50% Down Payment	Balance Due Upon Completion

Qty	Description	Unit Price	Line Total
1815 sqft	TFD Nylon 36oz Padded (5MM) Turf Carpet 15x121	4.05	7350.75
1815 sqft	Installation and Glue	2.50	4537.50
		Subtotal	\$11,888.25
		Sales Tax	EXEMPT
		Total	\$11,888.25

***Thank you for your business!***

Prices are valid for 30 days from the date of the estimate.

All sales are final.

# Peterson Flooring LLC

# Estimate

J.P. Flooring  
 1137 West 20th Street  
 Carroll IA 51401  
 Phone 712-775-2286  
 craig.jpfflooring@gmail.com

Date	Estimate #
4/11/2024	5525



Name / Address
City of Carroll Batting Cages

Description	Total
Carroll batting cages Retail	
Turf	7,937.18T
Install Turf	2,790.00
Glue 263 henry Outdoor adhesive	2,499.85T
Shipping	79.95
Reducer	498.60T
Install Reducer	540.00
Contact Cement	395.95T
Ardex	249.95T
Floor Prep	339.95
Disposal of Scraps	16.33
Donation to City	-3,000.00
Carroll County Sales Tax	652.24

The above information is not an invoice and is only an estimate of the product and services described above. This estimate is non-contractual. If estimate is accepted, any agreed upon changes to the job after acceptance would not be reflected here. The final invoice due at end of job will contain actual costs along with any downpayments applied.  
 FINAL PAYMENT IS DUE DAY OF INSTALL - All product warranties are held by the manufacturer NOT by J.P. Flooring  
 A NON-REFUNDABLE 50% downpayment is required to secure product and installation date. Valid for 7 days from Estimate date.

**Total**

**\$13,000.00**



# Estimate

911 S 20th STREET  
 Omaha, NE 68108  
 402-597-6296

DATE	ESTIMATE NO.
3/8/2024	9590

NAME / ADDRESS
City of Carroll Chad Thiemeyer Carroll, IA. 51401

DESCRIPTION	QTY	U/M	COST	PROJECT
				TOTAL
Synthetic Turf 36 oz. Poly with Unitary Back - Green 15' wide x 62' long	2		2,975.00	5,950.00T
Home Plate Turf Mat Standard w/ Throw Down Plate - Green Baseball 6' x 12'	2		469.95	939.90T
Shipping / Handling (Turf)	1		985.00	985.00
Turf Removal and Concrete Prep	1		1,750.00	<del>1,750.00T</del>
Turf Edging / Transitions	1		1,050.00	1,050.00T
Turf Installation Including Materials Out-of-state sale, exempt from sales tax	1		5,400.00 0.00%	5,400.00T 0.00
			<del>14,324.96</del>	<del>15,135.85</del>
			<del>15,133.85</del>	<del>15,135.85</del>
			<b>TOTAL</b>	\$16,074.90 <b>Page 25</b>

# City of Carroll

627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** Aaron Kooiker, City Manager *AK*  
**FROM:** Laura Schaefer, City Clerk/Finance Director *LS*  
**DATE:** May 2, 2024  
**SUBJECT:** Infill Housing Incentive Applications

The City of Carroll received two Infill Housing Incentive applications:

Applicant: PKDW LLC  
Property Location: 1102 – 1108 N Main Street  
Estimated Building Value: \$350,000

Applicant: Mike and Carol Thobe  
Property Location: 1399 – 1401 E 11th Street  
Estimated Building Value: \$600,000

If these applications are approved, there would be four (4) incentives still available.

**RECOMMENDATION:** City Council consideration and approval of the requested Infill Housing Incentive applications for PKDW LLC (1102 – 1108 N Main Street) and Mike and Carol Thobe (1399 – 1401 E 11<sup>th</sup> Street).

APPLICATION FOR CITY OF CARROLL HOUSING INCENTIVE PROGRAM

Please type or print

Property address: 1102 ; 1108 N. MAIN ST.

Legal Description or Parcel Number: \_\_\_\_\_

06-24-426-004 ; 06-24-426-008

Applicant: PKDW LLC.

Address: 506 W. 16<sup>th</sup> ST.

City: CARROLL State: IA

Phone: 712-830-5404 / 712-210-3026

Current Property Value (from assessor's records)

Land: \$ 25,680 Building(s): \$ 0

Brief Description of Project: SPEC BUILD TOWNHOUSE

Estimated Cost of Actual Building Improvements: \$ 350,000

Start Date: MAY 2024

Estimated or Actual Completion Date: MAY 2025

Note: No change may be made once an application is approved without approval of the Carroll City Council.

# CITY OF CARROLL

## BUILDING PERMIT

THIS FORM WAS PRINTED ON: 4/30/2024

PERMIT #: 240119

DATE ISSUED: 4/30/2024

PROJECT ADDRESS: 1102-1108 N MAIN  
LOCATION: 1102-1108 N MAIN  
SUBDIVISION:

LOT #:  
BLK #:

ISSUED TO: PKDW LLC.  
ADDRESS: 506 W 16TH ST  
CITY: CARROLL  
STATE: IA  
ZIP: 51401-1409  
PHONE:

CONTRACTOR: PKDW LLC.  
ADDRESS: 506 W 16TH ST  
CITY: CARROLL  
ST: IA  
ZIP: 51401-1409  
PHONE:

VALUATION: \$ 350,000.00  
WORK: RESIDENTIAL NEW  
PROP.USE:  
ARCHITECT:

SQ FT 0.00  
ZONE ORD:  
OCCP TYPE:  
CLASSWORK:

FEE CODE	DESCRIPTION	AMOUNT
BL ISSUE	BUILDING ISSUE FEE	\$1,066.00
CONST WTR	CONSTRUCTION WATER	\$ 42.00
	TOTAL	\$1,108.00

NOTES: NEW DUPLEX

### NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 120 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 120 DAYS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE

DATE 04/16/2024

PERMIT NO. 240119

# BUILDING PERMIT APPLICATION

CITY OF CARROLL, IOWA

Job Address 1102 & 1108 N. Main St.

Legal Description - (include lot no., block no.) OR Parcel ID Number (found on property tax record)  
06-24-426-004 & 06-24-426-008

Owner PKDW LLC.	Mailing Address 506 16th St.	Phone 830-5404 / 210-3026
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Contractor Mike Schultes Construction	Mailing Address 2053 Industrial Park Rd.	License No.	Phone
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Architect or Designer	Mailing Address	License No.	Phone
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Use of Building  
Townhouse

Description of Work  
Townhouse Spec to be sold.

Dimensions of Proposed Building or Structure  
51' Length 100' Width 19'8" Height Other

Airport Airspace Zoning Approved?  
 Yes  No  NA

**\*\*REVIEW NOTICE & SIGN BELOW\*\***

**ATTACH BLUE PRINTS AND SITE PLAN**

**NOTICE**

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 120 DAYS OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 120 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE THE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

*PERRY JOHNSON*

Signature of owner or authorized agent Date

Valuation of Work	\$ 350,000
Permit Fee	\$ 1,000.00
Additional Fees:	
Plan Check Fee	\$
Sewer Connection	\$
Water Connection	\$ 42.00
Other	\$

**TOTAL AMOUNT DUE**

4,108

Plumbing Permit # \_\_\_\_\_

Mechanical Permit # \_\_\_\_\_

Electrical Permit # \_\_\_\_\_

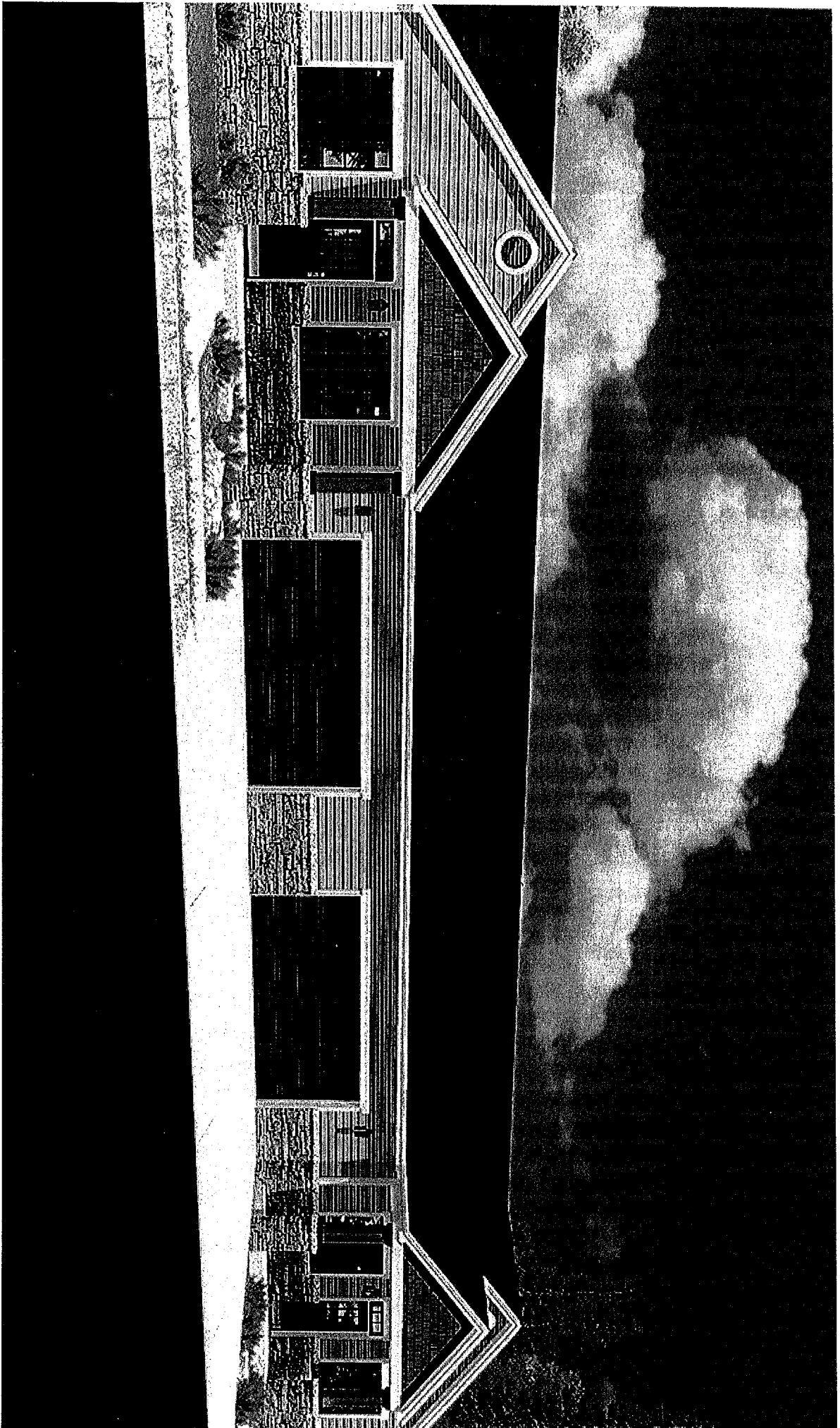
R.O.W. Permit # \_\_\_\_\_

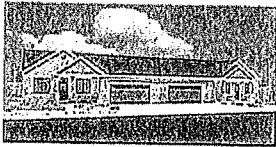
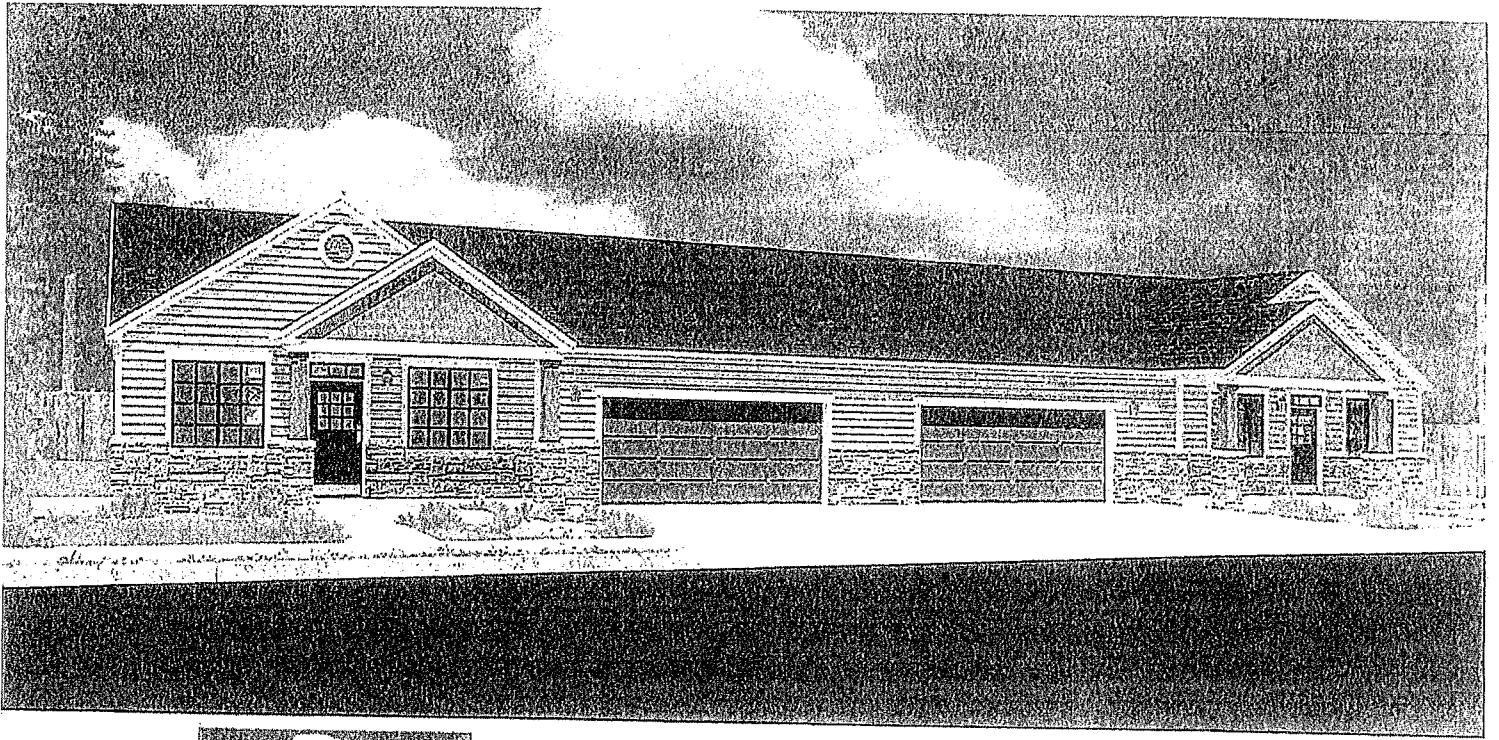
**WHEN PROPERLY APPROVED BELOW THIS IS YOUR PERMIT**

Application accepted by: *PERRY JOHNSON*

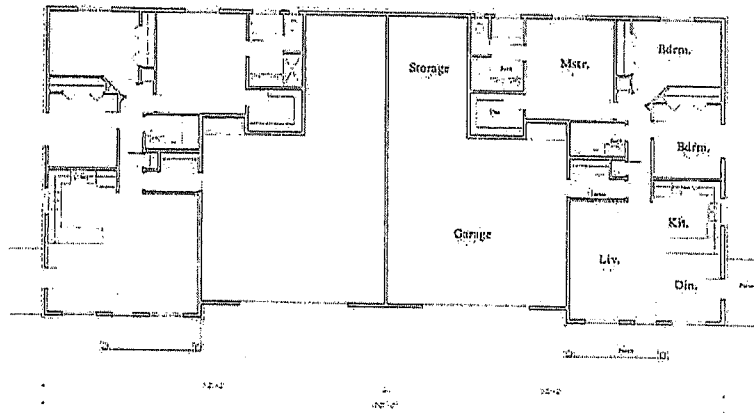
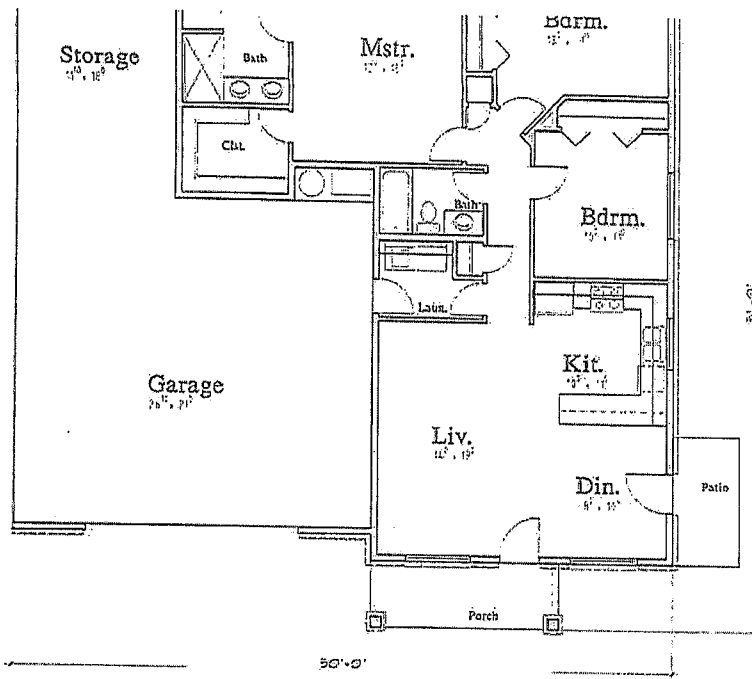
Date: 4-22-24

Approved by: *[Signature]*





Main Floor Plan



Total sq. ft.: 1,320  
 Bedrooms: 3  
 Bathrooms: 2  
 Garage Stalls: 3  
 Width: 100' 0"  
 Depth: 51' 0"  
 Ridge Height: 19' 8"  
 Foundations Available: Slab



APPLICATION FOR CITY OF CARROLL HOUSING INCENTIVE PROGRAM

Please type or print

Property address: 11<sup>th</sup> St, Carroll, IA

Legal Description or Parcel Number: Northridge Fourth Subdivision Phase  
One Block 2 Lot 1  
001-07-19-426-007

Applicant: Mike and Carol Thobe

Address: 2005 Gerrard St

City: Carroll State: IA

Phone: 712-210-7082

Current Property Value (from assessor's records)

Land: \$ 53,040 Building(s): \$ \_\_\_\_\_

Brief Description of Project: build a town house

Estimated Cost of Actual Building Improvements: \$ 600,000

Start Date: June 1, 2024

Estimated or Actual Completion Date: Jan 1, 2025

Note: No change may be made once an application is approved without approval of the Carroll City Council.

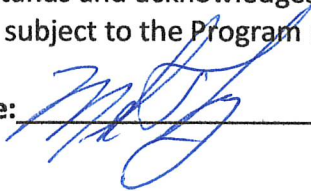
**Acknowledgments:**

A copy of the building permit is attached.

The property to which improvements are made conform to all applicable city codes.

The applicant certifies that all information in this application and all information provided in the support of this application is given for the purpose of obtaining a housing incentive from the City of Carroll and is true and complete to the best of the applicant's knowledge. The applicant acknowledges that no incentive will be received unless it is approved by the Carroll City Council. The applicant understands and acknowledges the rules of the Program and acknowledges that incentive eligibility is subject to the Program rules.

**Applicant's Signature:**



**Date Signed:**

4-27-24

**City Council Action:**

Approved

Date: \_\_\_\_\_

Disapproved

Date: \_\_\_\_\_

Reason for disapproval: \_\_\_\_\_

# CITY OF CARROLL

## BUILDING PERMIT

THIS FORM WAS PRINTED ON: 4/30/2024

PERMIT #: 240120

DATE ISSUED: 4/30/2024

PROJECT ADDRESS: 1399-1401 E 11TH  
LOCATION: 1399-1401 E 11TH  
SUBDIVISION:

LOT #:  
BLK #:

ISSUED TO: MIKE THOBE  
ADDRESS: 2005 GERRARD AVE  
CITY: CARROLL  
STATE: IA  
ZIP: 51401-3709  
PHONE:

CONTRACTOR: MIKE THOBE  
ADDRESS: 2005 GERRARD AVE  
CITY: CARROLL  
ST: IA  
ZIP: 51401-3709  
PHONE:

VALUATION: \$ 600,000.00  
WORK: RESIDENTIAL NEW  
PROP.USE:  
ARCHITECT:

SQ FT 0.00  
ZONE ORD:  
OCCP TYPE:  
CLASSWORK:

FEE CODE	DESCRIPTION	AMOUNT
BL ISSUE	BUILDING ISSUE FEE	\$1,691.00
CONST WTR	CONSTRUCTION WATER	\$ 42.00
	<b>TOTAL</b>	<b>\$1,733.00</b>

NOTES: NEW DUPLEX

### NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 120 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 120 DAYS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE

DATE 4-30-24

PERMIT NO. 240120

# BUILDING PERMIT APPLICATION

CITY OF CARROLL, IOWA

Job Address 1399-1401 E 11th

Legal Description - Include Lot No., Block No. Tract 001-07-19-426-007 Northridge Fourth Subdivision Phase One Block 2 Lot 1

Owner <u>Mike Thobe</u>	Mailing Address <u>2005 Gerrard Ave</u>	Phone <u>712-210-7082</u>
----------------------------	--	------------------------------

Contractor <u>Mitch Hoffman</u>	Mailing Address <u>606 Cleve Blvd, Arcadia, IA 51430</u>	License No.	Phone <u>712-790-1340</u>
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Architect or Designer	Mailing Address	License No.	Phone
-----------------------	-----------------	-------------	-------

Use of Building Spec build for resale

Description of Work Townhouse build

**\*\*REVIEW NOTICE & SIGN BELOW\*\***

**ATTACH BLUE PRINTS AND SITE PLAN**

**NOTICE**

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 120 DAYS OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 120 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE THE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Mike Thobe 04/27/2024

Signature of owner or authorized agent Date

Valuation of Work <u>\$600,000</u>	
Permit Fee	\$ <u>1,691.00</u>
Additional Fees:	
Plan Check Fee	\$
Sewer Connection	\$
Water Connection	\$ <u>42.00</u>
Other	\$

**TOTAL AMOUNT DUE**

1,733.00

Plumbing Permit # \_\_\_\_\_

Mechanical Permit # \_\_\_\_\_

Electrical Permit # \_\_\_\_\_

R.O.W. Permit # \_\_\_\_\_

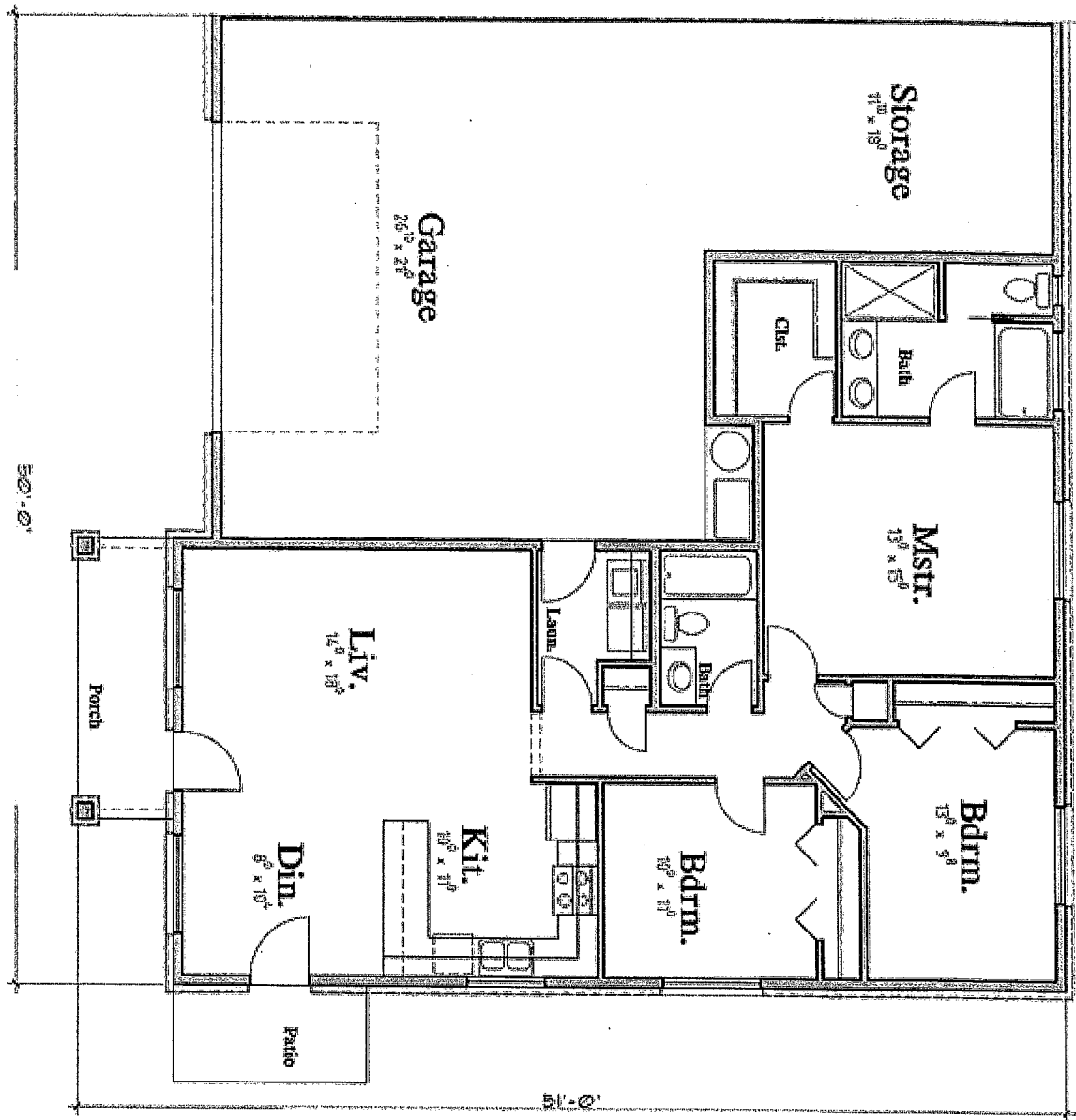
**WHEN PROPERLY APPROVED BELOW THIS IS YOUR PERMIT**

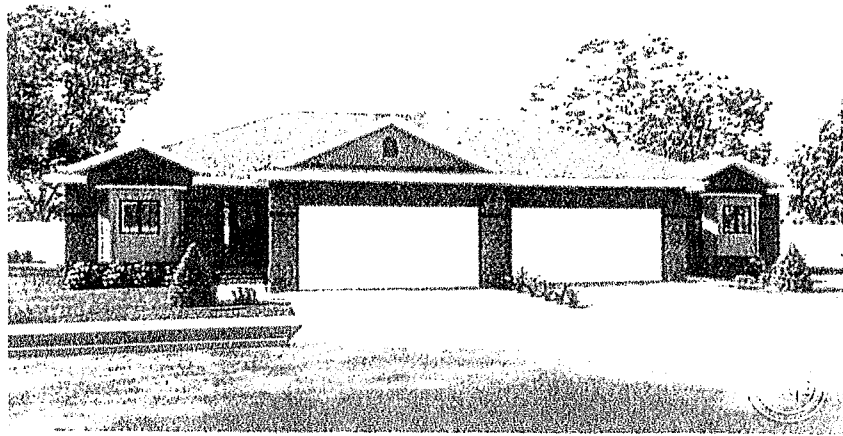
Application accepted by: PERRY JOHNSON

Date: 4-30-24

Approved by: [Signature]

Stone Printing, Inc. • Carroll, Iowa • 1-800-522-1900





1269  
SQ FT

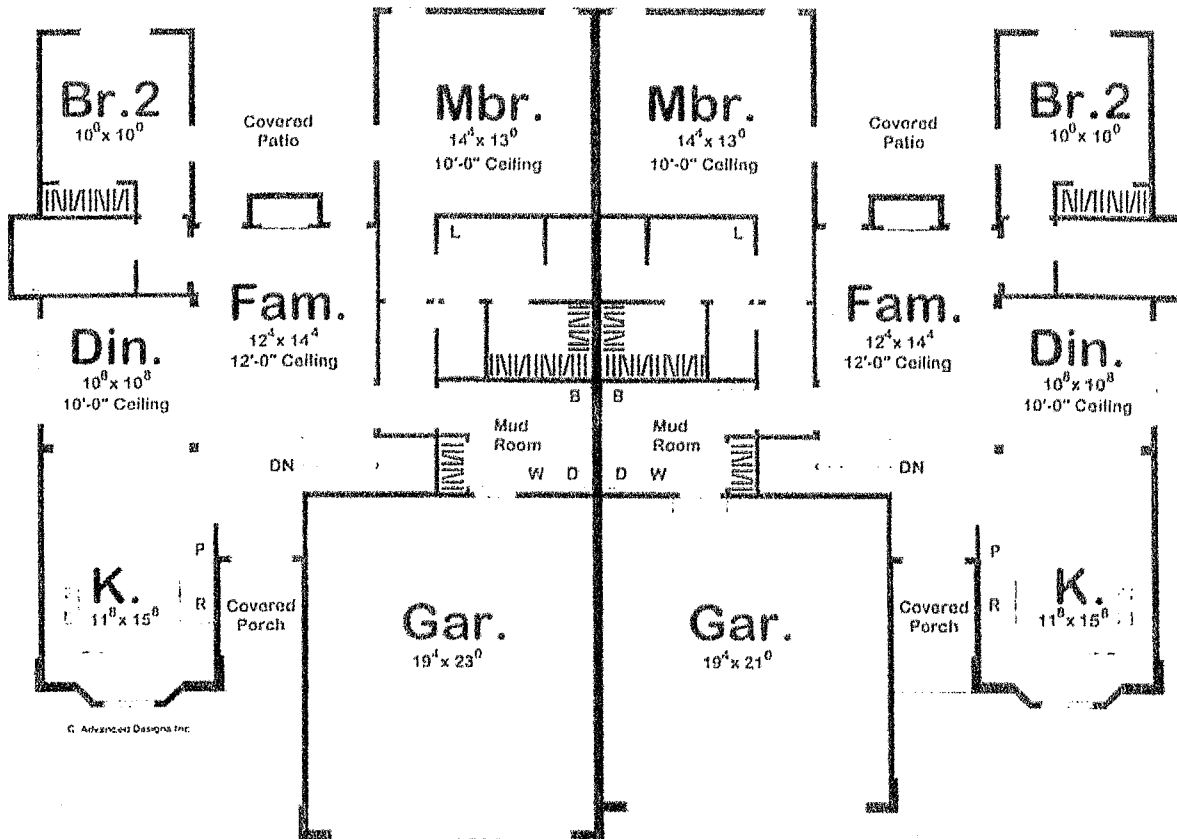
2  
BEDS

2  
BATHS

2  
BATHS

80' 0"  
WIDE

57' 0"  
DEEP



© Advanced Designs Inc.

<b>Bathrooms</b>	<b>2</b>
<b>Garage Bays</b>	<b>2</b>
<b>Square Footage</b>	
<b>Main Level</b>	<b>1269 Sq. Ft.</b>
<b>Garage</b>	<b>467 Sq. Ft.</b>
<b>Total Finished Area</b>	<b>1269 Sq. Ft.</b>
<b>Exterior Dimensions</b>	
<b>Width</b>	<b>80' 0"</b>
<b>Depth</b>	<b>57' 0"</b>
<b>Ridge Height</b> <i>Calculated from main floor line</i>	<b>23'</b>
<b>Default Construction Stats</b> <i>Stats are unique to the individual plan.</i>	
<b>Foundation Type</b>	<b>Basement</b>
<b>Exterior Wall Construction</b>	<b>2x4</b>
<b>Roof Pitches</b>	<b>6/12</b>
<b>Foundation Wall Height</b>	<b>9'</b>
<b>Main Wall Height</b>	<b>9'</b>

# City of Carroll

627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** Aaron Kooiker, City Manager *AK*  
**FROM:** Randall M. Krauel, Director of Public Works *RMK*  
**DATE:** April 17, 2024, *May 8, 2024*  
**SUBJECT:** Vacation of a Portion of North West Street  
• Public Hearing  
• Ordinance

On February 26, 2024, a release of Right-of-Way/Easement was accepted from Carroll County for a N. West Street easement described as follows:

West 53 feet of the North 2,164 feet of the NE $\frac{1}{4}$ , Section 13, Township 84 North, Range 35 West.

The easement location is illustrated on the attached.

It is now proposed to vacate the east 13 feet of the easement resulting in re-establishing a 40 feet on-half width right-of-way on this segment of N. West Street. The description of the property proposed to be vacated is as follows:

East 13 feet of the West 53 feet of the North 2,164 feet of the NE $\frac{1}{4}$  of Section 13-T84N-R35W

A Vacation Plat is attached.

The Planning and Zoning Commission, at their meeting on April 10, approved a recommendation to the City Council to vacate this portion of N. West Street. The Commission written recommendation is their attached DRAFT meeting minutes.

On April 8, the City Council set a public hearing on the vacation for April 22.

**RECOMMENDATION:** Mayor and City Council conduction of the required public hearing and consideration of adoption of the Ordinance vacating for street purposes a portion of N. West Street described as East 13 feet of the West 53 feet of the North 2,164 feet of the NE $\frac{1}{4}$  of Section 13-T84N-R35W based on the following findings:

1. Public Use. The street proposed to be vacated is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified.
2. Abutting Property. The proposed vacation will not deny owners of property abutting on the street reasonable access to their property.
3. Recommendation of the Planning and Zoning Commission.



Vacation of a Portion of North West Street  
April 17, 2024, *May 8, 2024*  
Page 2

*On April 22, the Council introduced and approved the first reading of the ordinance. No comments have been received regarding the vacation.*

RMK:lp

attachments (4)

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE PROVIDING FOR THE VACATION OF A PORTION OF NORTH WEST STREET RIGHT-OF-WAY.**

**BE IT ENACTED** by the City Council of the City of Carroll, Iowa, as follows:

**SECTION 1. PURPOSE.** The purpose of this Ordinance is to vacate for use by the public that portion of the North West Street right-of-way described as follows:

East 13 feet of the West 53 feet of the North 2,164 feet of the NE¼ of Section 13-T84N-R35W

**SECTION 2. FACTS FOUND.** The City Council of the City of Carroll hereby finds that the portion of right-of-way described in Section 1 is not needed for the use of the public, its maintenance at public expense is no longer justified, and the proposed vacation will not deny abutting property owners reasonable access the their property.

**SECTION 3. VACATION.** That portion of the right-of-way described in Section 1 is hereby vacated.

**SECTION 4. FILING.** The City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, proof of publication thereof, and proof of publication of the notice of the public hearing on this matter to be properly filed in the Records Office of Carroll County, Iowa.

**SECTION 5. REPEALER.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**SECTION 6. SEVERABILITY CLAUSE.** If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

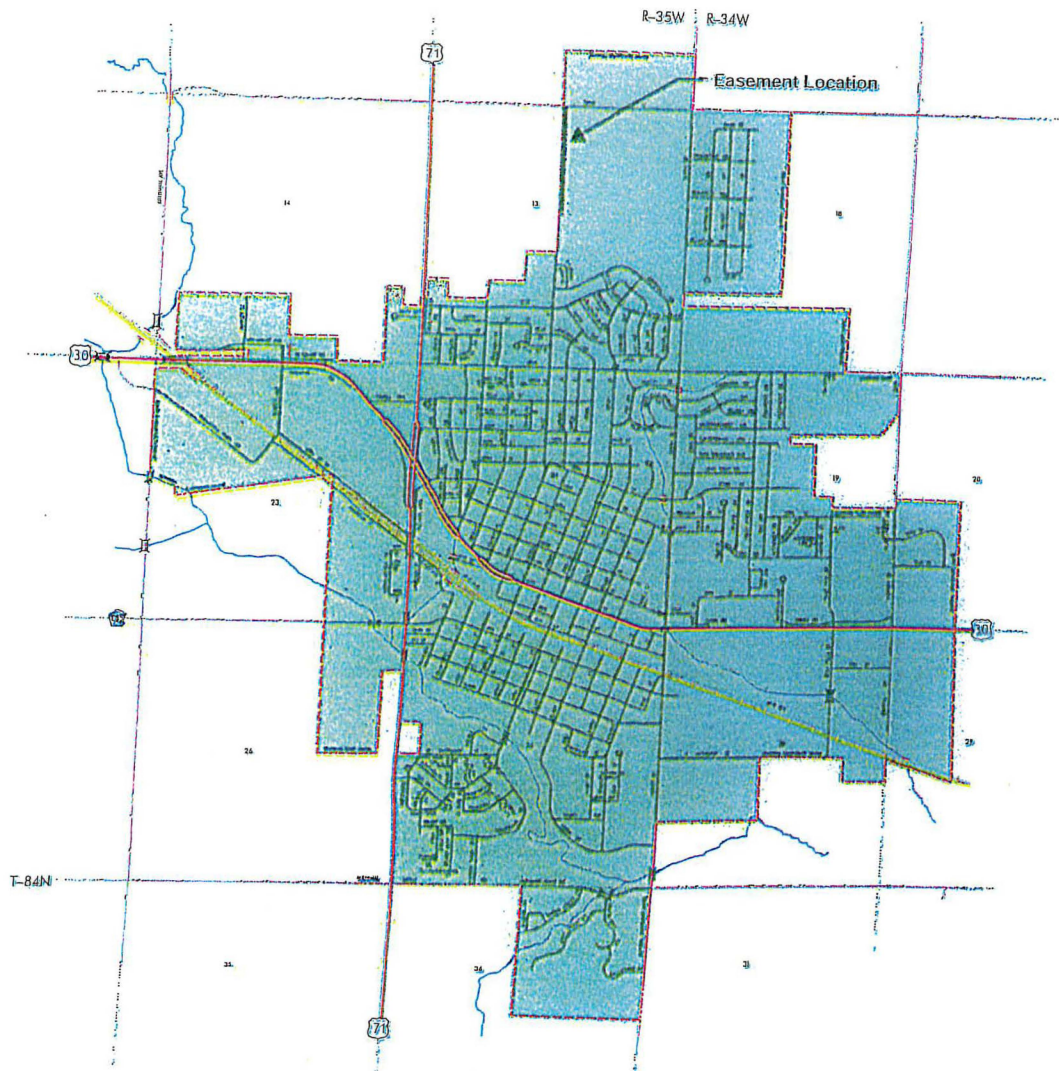
**SECTION 7. WHEN EFFECTIVE.** This Ordinance shall be in effect from and after its final passage, approval, and publication as provided by law.

Passed by the Council the \_\_\_\_\_ day of \_\_\_\_\_, 2024, and approved the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Gerald H. Fleshner, Mayor

ATTEST:

By: \_\_\_\_\_  
Laura A. Schaefer, City Clerk



# N. WEST STREET EASEMENT



## LEGEND

URBAN STREE	
ARTRIAL CALIFORNIA STREE	
ALL IANIMED STREE	
URBAN STREE	
STATE MAINTAINED STREE	
MUNICIPAL STREE	
CONTRACT MAINTAINED STREE	
SECURITY ROAD OR ADJACENT CITY STREE	
CHURCH	
PAVE, BUSHWAL, OR FEDERAL ROAD	
RAILROAD	
CORRIDOR/CHANNEL	
SECTION LINE	
CHESSAC	
SECTION, QUANTIFY & RANGE	

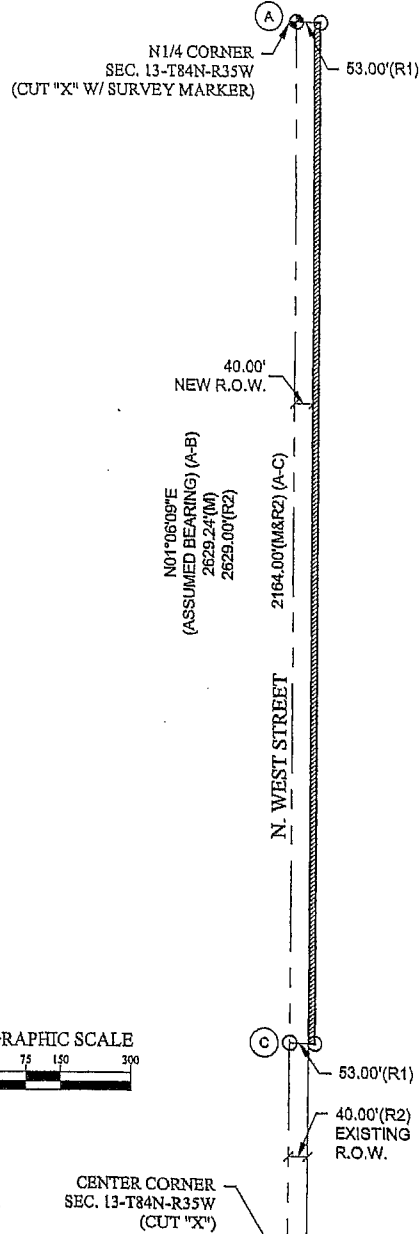


HIGHWAY AND STREET MAP OF  
 OF  
**CARROLL  
 IOWA**  
 PREPARED BY  
 IOWA DEPARTMENT OF TRANSPORTATION  
 PLANNING, PROGRAMMING, AND MODAL DIVISION  
 OFFICE OF SYSTEMS PLANNING  
 PIONEER BLVD. 2ND FLOOR  
 DES MOINES, IOWA 50319  
 UNITED STATES DEPARTMENT OF TRANSPORTATION  
 FEDERAL HIGHWAY ADMINISTRATION

Index Legend	
Location:	PART OF THE NE1/4, SEC. 13-T84N-R35W GRANT TWP, CARROLL COUNTY
Requestor:	CITY OF CARROLL
Proprietor:	CITY OF CARROLL
Surveyor/	MATTHEW A. FOUTS
Prepared	724 SIMON AVE. CARROLL, IA 51401
By:	PHONE # 712-792-9711
Surveyor	
Company:	JEO CONSULTING GROUP INC.
Return To:	724 SIMON AVE. CARROLL, IA 51401

FOR RECORDER'S USE ONLY

## VACATION PLAT



**BOUNDARY DESCRIPTION:**  
THIS PLAT IS TO VACATE  
RIGHT-OF-WAY ALONG THE  
EAST 13 FEET OF THE WEST  
53 FEET OF THE NORTH  
2164.00 FEET OF THE NE1/4  
OF SECTION 13-T84N-R35W.

**SURVEYORS NOTE:**  
A RELEASE OF RIGHT OF  
WAY / BASEMENT FROM  
CARROLL COUNTY, IA TO  
THE CITY OF CARROLL, IA IS  
RECORDED IN INSTRUMENT  
#2024-0264.

**RECORD SURVEYS:**  
R1 BOOK 84, PAGE 148  
R2 BOOK 7, PAGE 131

**LEGEND**

- MONUMENT FOUND
- MONUMENT SET
- CALCULATED POINT
- R RECORDED DISTANCE
- M MEASURED DISTANCE
- R.O.W. RIGHT-OF-WAY

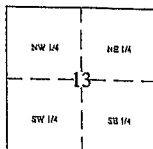
**GRAPHIC SCALE**

0 75 150 300

DATE	3/5/2024
SCALE	1" = 300'
DRAWN	JAR
JOB NO.	211132
FIELD BOOK	
FIELD WORK	JAR
SHEET	1 OF 1
FILE NO.	

**JEO CONSULTING GROUP**  
800.723.8567  
Carroll, IA 712-792-9711  
Ankeny, Iowa 515-964-5310  
www.jeo.com

**VICINITY SKETCH**  
CARROLL COUNTY  
IOWA  
R35W



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

*Matthew A. Fouts* 3.5.24  
(signature) (date)

Printed or typed name: MATTHEW A. FOUTS  
License Number: 23586  
My license renewal date is December 31, 2025

Pages or sheets covered by this seal:  
SHEET 1 OF 1

PLANNING AND ZONING COMMISSION

MINUTES OF APRIL 10, 2024

The Carroll Planning and Zoning Commission met in regular session on April 10, 2024, 5:15 PM, in the Council Chambers, City Hall, 627 N Adams Street. Present: Sylvia Balk-Hanks, Richard Boes, Shelley Diehl, Ron Juergens, Mike Long (via phone) Ron Meiners, Michelle Prichard, and Daniel Sturm. Absent: Jayne Pietig. Also present: Aaron Kooiker, City Manager, David Bruner, City Attorney, Dan Hannasch, Fire Chief and Building/Fire Safety Official and Randy Krauel, Director of Public Works/City Engineer. Chairperson Diehl presided over the meeting.

\*\*\*\*\*

MOTION by Juergens, second by Meiners, to elect Shelley Diehl as chairperson. All present voted Aye. Nays: None. Abstain: None. Absent: Pietig. Motion carried 8-0.

\*\*\*\*\*

MOTION by Prichard, second by Juergens, to elect Ron Meiners as vice-chairperson. All present voted aye. Nays: None. Abstain: None. Absent: Pietig. Motion carried 8-0.

\*\*\*\*\*

MOTION by Juergens, second by Meiners, to approve the minutes of the February 14, 2024, as mailed. All present voted Aye. Nays: None. Abstain: None. Absent: Pietig. Motion carried 8-0.

\*\*\*\*\*

On February 26, 2024, the City accepted a release of Right-of-Way/Easement from Carroll County for the N. West Street easement. The City is now proposing to vacate the east 13 feet of the easement resulting in re-establishing a 40 feet one-half width right-of-way on this section of N. West Street. The description of the property proposed to be vacated is as follows:

East 13 feet of the West 53 feet of the North 2,164 feet of the NE¼ of Section 13-T84N-R35W

The street proposed to be vacated is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified. The proposed vacation will not deny owners of property abutting on the street reasonable access to their property.

MOTION by Sturm, second by Diehl, to recommend to the City Council approval of the vacation as presented. Aye: Balk-Hanks, Boes, Diehl, Juergens, Meiners, Prichard and Sturm. Nay: Long. Abstain: None. Absent: Pietig. Motion carried 7-1.

\*\*\*\*\*

A proposal has been made to rezone the following described parcel of land from A-1, Agricultural District to R-3, Low-Density Residential District.

A Parcel of land located in part of Lot 2 and Lot 3 of the Northwest Quarter of the Northeast Quarter and Part of Lot 2 located in the Southwest Quarter of the Northeast Quarter, all in Section 13, Township 84 North, Range 35 West of the 5th P.M., City of Carroll, Carroll County, Iowa, being more particularly described as follows:

COMMENCING at the North quarter corner of said Section 13; thence S01°06'09"W (assumed bearing) on the West line of said Northeast quarter, 443.40 feet; thence S88°53'51"E, 40.00 feet to the POINT OF BEGINNING; thence continuing S88°53'51"E, 150.00 feet; thence S01°06'09"W, 600.00 feet; thence S88°53'51"E, 50.00 feet; thence S01°06'09"W, 520.00 feet; thence N88°53'51"W, 200.00 feet; thence N01°06'09"E, 1120.00 feet to the POINT OF BEGINNING.

All adjacent property owners were notified of the hearing by mail and proof of public notice of a hearing was presented. The public hearing was opened at 5:27 PM. No one was present and spoke in favor of the request. Mason Atherton appeared and spoke in opposition. The public hearing was closed at 5:38 P.M. MOTION by Sturm, second by Prichard to recommend to the City Council approval of the zoning change request for the area described from A-1, Agricultural District to R-3, Low-Density Residential District for an area legally described as:

A Parcel of land located in part of Lot 2 and Lot 3 of the Northwest Quarter of the Northeast Quarter and Part of Lot 2 located in the Southwest Quarter of the Northeast Quarter, all in Section 13, Township 84 North, Range 35 West of the 5th P.M., City of Carroll, Carroll County, Iowa, being more particularly described as follows:

COMMENCING at the North quarter corner of said Section 13; thence S01°06'09"W (assumed bearing) on the West line of said Northeast quarter, 443.40 feet; thence S88°53'51"E, 40.00 feet to the POINT OF BEGINNING; thence continuing S88°53'51"E, 150.00 feet; thence S01°06'09"W, 600.00 feet; thence S88°53'51"E, 50.00 feet; thence S01°06'09"W, 520.00 feet; thence N88°53'51"W, 200.00 feet; thence N01°06'09"E, 1120.00 feet to the POINT OF BEGINNING.

Aye: Sturm and Prichard. Nay: Balk-Hanks, Boes, Diehl, Juergens, Long, and Meiners.  
Absent: Pietig. Motion failed 2-6.

\*\*\*\*\*

MOTION by Juergens, second by Meiners, to adjourn at 5:52 PM. All present voted Aye.  
Nays: None. Abstain: None. Absent: Pietig. Motion carried 8-0

---

Shelley Diehl, Chairperson


Aaron Kooiker, City Manager

**DRAFT**

# City of Carroll

627 N. Adams Street Carroll, Iowa 51401 (712) 792-1000 FAX: (712) 792-0139

**MEMO TO:** Honorable Mayor and City Council Members

**FROM:** Aaron Kooiker, City Manager 

**DATE:** May 2, 2024

**SUBJECT:** Rezoning request from A-1, Agricultural District to R-3, Low-Density Residential District – 2<sup>nd</sup> Reading

At the April 22 Council meeting, Council approved the first reading of the ordinance to rezone the property to the east of N. West Street proposed for the West Golfview Subdivision from A-1, Agricultural District to R-3, Low-Density Residential District. City Staff has not received any additional comments.

## **BACKGROUND**

On April 10, 2024, the Planning and Zoning Commission met to discuss the rezoning of property to the east of N. West Street proposed for the West Golfview Subdivision. The property is legally described as:

A Parcel of land located in part of Lot 2 and Lot 3 of the Northwest Quarter of the Northeast Quarter and Part of Lot 2 located in the Southwest Quarter of the Northeast Quarter, all in Section 13, Township 84 North, Range 35 West of the 5th P.M., City of Carroll, Carroll County, Iowa, being more particularly described as follows:

COMMENCING at the North quarter corner of said Section 13; thence S01°06'09"W (assumed bearing) on the West line of said Northeast quarter, 443.40 feet; thence S88°53'51"E, 40.00 feet to the POINT OF BEGINNING; thence continuing S88°53'51"E, 150.00 feet; thence S01°06'09"W, 600.00 feet; thence S88°53'51"E, 50.00 feet; thence S01°06'09"W, 520.00 feet; thence N88°53'51"W, 200.00 feet; thence N01°06'09"E, 1120.00 feet to the POINT OF BEGINNING.

During the discussion, the Commission was advised that the rezoning of this property from A-1, Agricultural District to R-3, Low-Density Residential District is cohesive and compatible with the comprehensive plan and is compatible with neighboring land uses.

During the discussion, there were many questions from the Planning and Zoning Commission members regarding the cost of the development. Several Commission members stated the development was too expensive. Staff reminded them that their decision was to be based on the compatibility of the rezoning request with the comprehensive plan and other zonings near that area. It was also noted that Chris Whitaker, who authored the city's comprehensive plan, agreed that the rezoning was compatible with the plan.

A motion was made and seconded to approve the rezoning of the property proposed to be used for the West Golfview Subdivision. However, that motion failed 2-6. No other motions were made. When



asked what the reasoning for the failed vote was, Planning and Zoning Commission members stated that they felt that the cost of the development was too expensive. There was no other feedback from the Commission regarding the rezoning. One member stated that he was not aware that they were supposed to review the comprehensive plan when reviewing rezonings. When reviewing rezoning proposals, the Council should consider the Comprehensive Plan, Spot Zoning and Public Input.

Comprehensive Plan:

A comprehensive plan serves as a long-range plan for community improvement, development, and growth. Iowa Code recommends communities adopt comprehensive plans, and that these plans should "include information on the amount, type, intensity and density of existing land use, trends in the market price, and plans for future land use throughout the municipality" (Chapter 18B). Said plans serve as policy guides and are intended to be flexible and adaptive over time, setting forth the basic framework to guide activities and manage change.

The Parcel is included in property identified in the City's Comprehensive Plan Future Land Use as Parks and Open Space. Reviewing the Comprehensive Plan and Future Land Use, rezoning the Parcel to R-3 Low-Density Residential would be in alignment with future land use. Residential areas and parks and open spaces are cohesive and compatible neighboring land uses.

Spot Zoning:

According to the Iowa State University & Outreach's "Midwest Planning Bluz" (Iowa State University Extension's **B**log on **L**and **U**se and **Z**oning), to determine whether illegal spot zoning has occurred, the courts consider whether the rezoning takes into account the following:

1. the characteristics of surrounding property;
2. the community's comprehensive plan; and
3. the protection and preservation of public health, justice, morals, order, safety and security, and welfare (police power).

The parks and open space property land use currently abuts residential land use the northwest, northeast and east. As determined above, residential areas and parks and open spaces are cohesive and compatible neighboring land uses. Rezoning would also provide needed residential housing area availability to the residents of the City.

**RECOMMENDATION:** Council discussion and consideration of the second reading of the Ordinance rezoning of the Parcel from A-1, Agricultural District to R-3, Low-Density Residential District according to a compatible use of the Comprehensive Plan.

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE AMENDING THE ZONING MAP REFERRED TO IN SECTION 170.06 OF THE ZONING ORDINANCE INCORPORATED IN CHAPTER 170 OF THE CODE OF ORDINANCES OF THE CITY OF CARROLL, IOWA AND ALTERING THE ZONING DISTRICT FOR REAL ESTATE SITUATED IN THE CITY OF CARROLL, CARROLL COUNTY, IOWA:

BE IT ORDAINED by the City Council of the City of Carroll, Iowa as follows:

SECTION 1. The Zoning Map referred to and incorporated as a part of Section 170.06, Chapter 170 of the Code of Ordinances, City of Carroll, Iowa is hereby amended to the extent of altering the Zoning District of the following property described from A-1, Agricultural District to R-3, Low-Density Residential District:

A Parcel of land located in part of Lot 2 and Lot 3 of the Northwest Quarter of the Northeast Quarter and Part of Lot 2 located in the Southwest Quarter of the Northeast Quarter, all in Section 13, Township 84 North, Range 35 West of the 5th P.M., City of Carroll, Carroll County, Iowa, being more particularly described as follows:

COMMENCING at the North quarter corner of said Section 13; thence S01°06'09"W (assumed bearing) on the West line of said Northeast quarter, 443.40 feet; thence S88°53'51"E, 40.00 feet to the POINT OF BEGINNING; thence continuing S88°53'51"E, 150.00 feet; thence S01°06'09"W, 600.00 feet; thence S88°53'51"E, 50.00 feet; thence S01°06'09"W, 520.00 feet; thence N88°53'51"W, 200.00 feet; thence N01°06'09"E, 1120.00 feet to the POINT OF BEGINNING.

SECTION 2. The City Clerk is directed to attach a copy of the Ordinance to the official Zoning Map.

SECTION 3. The remainder of the Zoning Map, other than herein specified, shall remain the same as previously drawn and published.

SECTION 4. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof adjudged not invalid or unconstitutional.

SECTION 6. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed and approved by the Carroll City Council this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

CITY COUNCIL OF THE  
CITY OF CARROLL, IOWA

BY: \_\_\_\_\_  
Gerald H. Fleshner, Mayor

ATTEST:

\_\_\_\_\_  
Laura A. Schaefer, City Clerk

I certify that the foregoing was published as Ordinance No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Laura A. Schaefer, City Clerk

1-006

06-12-376-008

H ST

W 30TH ST

06-13-100-0

N WEST 16 ST

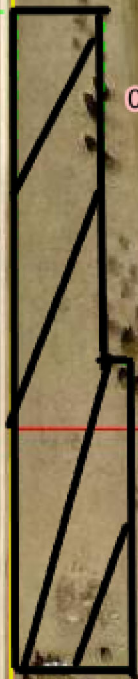
06-13-200-001

06-13-200-002

06-13-200-003

06-13-100-009

Carroll



IRREGULAR SURVEY OF LOTS 1, 2 & 3 NW1/4 NE1/4, 1 & 2 NE1/4 NE1/4, 1 & 2 SW1/4 NE1/4 & 1 SE1/4 NE1/4 SEG. 13-64-35  
06-13

06-13-200-004

06-13-200-005

06-13-100-010

# City of Carroll

---

627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** The Honorable Mayor and Member of the City Council

**FROM:** Aaron Kooiker, City Manager *AK*

**DATE:** May 2, 2024

**SUBJECT:** 1114 N Main Street

- Public Hearing on the Proposed Sale of City Interest in Real Estate
- Resolution for the Sale of the City Interest in Real Estate

The City of Carroll solicited bids for 1114 N Main Street. One bid was received on April 19, 2024. At the April 22 Council meeting, Council approved their intent to accept the proposal from PKDW LLC for \$12,500.00. They are proposing to build a multifamily housing unit. Each unit would be rented or sold as an affordable housing unit.

The estimated time of construction would be within three years with the demolition beginning immediately upon possession.

**STAFF RECOMMENDATION:** After public hearing, Council consideration and approval of the Resolution for the Sale of the City Interest in Real Estate to PKDW LLC for \$12,500.00 for the property located at 1114 N Main Street.

**RESOLUTION NO. \_\_\_\_\_**

**RESOLUTION FOR THE SALE OF THE  
CITY INTEREST IN REAL ESTATE**

WHEREAS, sale of the city's interest in real estate legally described as:

Lot 8, Block 2, Wattle's First Addition to Carroll, Carroll County, Iowa

is deemed appropriate, and

WHEREAS, the above-stated real estate is being conveyed to PKDW, LLC; and

WHEREAS, the public hearing on the proposed sale was conducted on this date, after published notice thereof on May 3, 2024, in the Carroll Times Herald, and the Council has given due consideration to objections and evidence for and against the proposed sale, as reflected by the record of the public hearing, and

WHEREAS, the Council deems the proposed sale to be in the best interest of the City of Carroll, Iowa, and the Council waives policies #304 and #307, for this sale.

NOW, THEREFORE, BE IT RESOLVED that the above-stated real estate be conveyed by Quit Claim Deed to PKDW, LLC for \$12,500.00 with contingencies contained in the offer and acceptance, and the Mayor and City Clerk are authorized to execute the Offer to Buy, and are further authorized to execute the Quit Claim Deed on behalf of the City.

Passed and approved this 13th day of May, 2024.

CITY COUNCIL OF THE  
CITY OF CARROLL, IOWA

BY: \_\_\_\_\_  
Gerald H. Fleshner, Mayor

ATTEST:

By: \_\_\_\_\_  
Laura A. Schaefer, City Clerk

## OFFER TO BUY REAL ESTATE AND ACCEPTANCE

TO: City of Carroll, Iowa (SELLER)

The undersigned BUYER hereby offers to buy and the undersigned SELLER by its acceptance agrees to sell the real property situated in Carroll, Carroll County, Iowa, legally described as:

Lot 8, Block 2, Wattle's First Addition to Carroll, Carroll County, Iowa

(Locally known as 1114 N Main Street, Carroll, Iowa 51401; Parcel ID Number: 06-24-286-003)

together with any easements and appurtenant servient estates, but subject to any reasonable easements of record, and zoning restrictions, herein referred to as the "Property," upon the following terms and conditions provided BUYER, on possession, are permitted to use the Property for any use permitted by applicable laws and ordinances.

1. PURCHASE PRICE. The Purchase Price shall be \$12,500.00 plus subject to the below conditions and BUYER shall pay the full purchase price in cash, certified funds, or wire transfer at the time of closing with adjustment for closing costs to be added or deducted from this amount.

2. REAL ESTATE TAXES. Seller shall pay all real estate taxes for fiscal year 2022-23 that are due and payable as of the date of possession and constitute a lien against the Property, including any unpaid real estate taxes for any prior years. BUYER shall be responsible for all subsequent real estate taxes. There will be no proration of real estate taxes for the current fiscal year 2023-24. BUYER will be solely responsible for all taxes due and payable beginning September of 2024 and thereafter.

3. SPECIAL ASSESSMENTS. BUYER shall pay in full all special assessments, if any, which are a lien on the Property as of the date of acceptance.

4. RISK OF LOSS AND INSURANCE. SELLER shall bear the risk of loss or damage to the Property prior to closing or possession, whichever first occurs.

5. POSSESSION AND CLOSING. Closing shall occur on or before May 31, 2024, unless otherwise mutually agreed upon by the parties. SELLER agrees to permit BUYER to inspect the Property within 72 hours prior to closing to assure that the premise is in the condition required by this Agreement. This transaction shall be considered closed upon the filing of title transfer documents and receipt of all funds then due at closing from BUYER under the Agreement.

6. FIXTURES. Included with the Property shall be all fixtures that integrally belong to, are specifically adapted to or are a part of the real estate, whether attached or detached.

7. CONDITION OF PROPERTY. BUYER is purchasing the Property in "AS IS" condition. Buyer acknowledges that Seller has made no representations or warranties, express or implied, as to the condition of the property or as to value, fitness for use, state of title, or environmental matters, and Buyer hereby waives any claims based on the condition of the property and releases and discharges the Seller and its employees, officers, and agents from any such claims,

liabilities, and causes of action. The Buyer shall be responsible for disposing of any junk, garbage, and/or personal property located at the Real Estate and shall be responsible for abating any existing nuisance conditions on the Real Estate, including demolition of the house thereon, immediately upon taking possession.

8. ABSTRACT AND TITLE. SELLER is in possession of the abstract of title to the Property and does not make any representations or warranties as to the state of title to the Property.

Buyer may, at Buyer's expense, update or continue the abstract of title to the Property continued through the date of acceptance of this Agreement, and given to BUYER's attorney for examination prior to closing. If closing is delayed due to SELLER's inability to provide marketable title, this Agreement shall continue in force and effect until either party rescinds the Agreement after giving ten days written notice to the other party.

9. DEED. Upon payment of the purchase price, SELLER shall convey the Property to BUYER by Municipal "Quit Claim" Deed.

10. REMEDIES OF THE PARTIES. A. If BUYER fails to timely perform this Agreement, SELLERS may forfeit it as provided in the Iowa Code (Chapter 656), and all payments made shall be forfeited; or, at SELLERS' option, upon thirty days written notice of intention to accelerate the payment of the entire balance because of BUYER'S default (during which thirty days the default is not corrected), SELLERS may declare the entire balance immediately due and payable. Thereafter this agreement may be foreclosed in equity and the Court may appoint a receiver.

B. If SELLER fails to timely perform this Agreement, BUYER has the right to have all payments made returned to them.

C. BUYER and SELLER are also entitled to utilize any and all other remedies or actions at law or in equity available to them and shall be entitled to obtain judgment for costs and attorney fees as permitted by law.

11. NOTICE. Any notice under this Agreement shall be in writing and be deemed served when it is delivered by personal delivery or by certified mail return receipt requested, addressed to the parties at the address given below.

12. CERTIFICATION. Buyer and Seller each certify that they are not acting, directly or indirectly, for or on behalf of any person, group, entity or nation named by any Executive Order or the United States Treasury Department as a terrorist, "Specially Designated National and Blocked Person" or any other banned or blocked person, entity, nation or transaction pursuant to any law, order, rule or regulation that is enforced or administered by the Office of Foreign Assets Control; and are not engaged in this transaction, directly or indirectly on behalf of, any such person, group, entity or nation. Each party hereby agrees to defend, indemnify and hold harmless the other party from and against any and all claims, damages, losses, risks, liabilities and expenses (including attorney's fees and costs) arising from or related to my breach of the foregoing certification.

13. GENERAL PROVISIONS. In the performance of each part of this Agreement, time shall be of the essence. Failure to promptly assert rights herein shall not, however, be a waiver of such rights or a waiver of any existing or subsequent default. This Agreement shall apply to and bind the successors in interest of the parties. This Agreement shall survive the closing. Paragraph headings are for convenience of reference and shall not limit or affect the meaning of this



Agreement. Words and phrases herein shall be construed as in the singular or plural number, and as masculine, feminine or neuter gender according to the context.

14. INSPECTION OF PRIVATE SEWAGE DISPOSAL SYSTEM. Seller represents and warrants to Buyer that the Property is not served by a private sewage disposal system, and there are no known private sewage disposal systems on the property.

15. NO REAL ESTATE AGENT OR BROKER. Neither party has used the service of a real estate agent or broker in connection with this transaction.

16. ADDITIONAL PROVISIONS:

A. CONTINGENCY. Seller's obligations under this Offer to Buy is contingent on the approval of this Offer to Buy by the City Council of the City of Carroll, Iowa, and after such public notice and hearing required by law. Buyer shall be responsible for all contingencies and conditions of sale set out in the Request for Bids and Bid Form. Buyer further agrees to build a multifamily housing which shall be completed within three (3) years of this agreement, unless extended by mutual agreement.

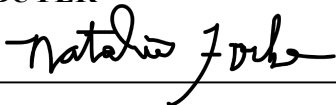
B. CLOSING COSTS. Seller is responsible for preparation of this Agreement, deed preparation, transfer tax, if any. Buyer is responsible for any fees associated with the abstracting cost, title examination, inspection expenses, if any, and recording fees.

C. REPRESENTATION. This agreement is prepared by the attorney for the Seller. Buyer has been advised of this representation and have been informed of Buyer's right to obtain independent legal counsel to review the Agreement on their behalf. Buyer has either obtained independent legal counsel or has intentionally declined to do so.

D. COUNTERPARTS. This Agreement may be executed in counterparts, each of which shall be deemed an original. Signatures which have been photocopied, sent by facsimile, or scanned and sent by electronic delivery shall have the same force and effect as original signatures.

Dated: May 5, 2024

**BUYER**

  
\_\_\_\_\_

\_\_\_\_\_

Dated: May 13, 2024

**SELLER**

**CITY OF CARROLL, IOWA**

BY \_\_\_\_\_  
Gerald H. Fleshner

ATTEST:

\_\_\_\_\_  
Laura A. Schaefer, City Clerk


# City of Carroll


627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** Aaron Kooiker, City Manager 

**FROM:** Chad Tiemeyer, Director of Parks and Recreation 

**DATE:** May 9, 2024

**SUBJECT:** City of Carroll – Renovations at Merchants Park Project

- Public Hearing on Plans, Specifications, Form of Contract and Estimated Cost
- Resolution Adopting Plans, Specifications, Form of Contract and Estimated Cost

On April 10, 2024, plans, specifications, form of contract and estimated cost of the Renovations at Merchants Park Project were filed by Shive-Hattery, Inc. The plans, specifications, form of contract and estimated cost are generally described as follows:

## PLANS

The project includes all labor, equipment, and materials for the construction of improvements at the existing Merchants Park facility located on Vine Street in Carroll, Iowa. Improvements include construction of a new press box and announcer's booth, replacement of field lighting, installation of new backstop and safety netting, new aluminum bleachers, and modifications to the existing dugouts.

## SPECIFICATIONS

The specifications further detail the construction of the Facility. Specifications include American Institute of Architects (AIA) documents and MasterSpec technical specifications.

## FORM OF CONTRACT

The form of contract is AIA A101-2017.

## ESTIMATED COST

The estimated construction cost of the renovations for the Merchants Park Project for the City of Carroll is based on the estimated construction cost. The current total project estimate is as follows:

Total Construction Subtotal	\$ 638,600.00
15% Contingency	\$ 96,000.00
Add alt-lights	\$ 322,700.00
15% Contingency	\$ 49,000.00
<u>Engineering, survey/permits, FF&amp;E, Misc.</u>	<u>\$ 103,900.00</u>
 Total Construction Opinion of Cost	 \$1,210,200.00

Funding for the project is anticipated as follows:

City	\$ 353,800.00
Count/Schools	\$ 50,000.00
Fundraising	\$ 316,519.00
<u>Grants/Donations</u>	<u>\$ 298,000.00</u>
 Total Current Funding	 \$ 1,018,319.00

The project schedule is anticipated as follows:

Pre-Construction Meeting	April 18, 2024
Bid Receipt	May 2, 2024
Construction Completion	December, 2024

**RECOMMENDATION:** Mayor and City Council conduction of the required public hearing and consideration of passage and approval of the Resolution adopting the plans, specifications, form of contract and estimated cost for the City of Carroll – Renovations at Merchants Park Project.

**RESOLUTION NO. \_\_\_\_\_**

**RESOLUTION ADOPTING THE PLANS, SPECIFICATIONS, FORM OF CONTRACT AND ESTIMATED COST FOR THE RENOVATIONS AT MERCHANTS PARK PROJECT – 2024**

WHEREAS, proposed plans, specifications, form of contract and estimated cost were filed for the construction of public improvements described in general as City of Carroll – Renovations at Merchants Park; and,

WHEREAS, a public hearing on the proposed plans, specifications, form of contract and estimated cost for said improvements was conducted by the City Council of the City of Carroll, Iowa; and,

WHEREAS, the City Council has determined that the proposed plans, specifications, form of contract and estimated cost are in the best interest of the City and the residents thereof.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Carroll, Iowa, that said proposed plans, specifications, form of contract and estimated cost are hereby adopted as the plans, specifications, form of contract and estimated cost for the City of Carroll – Renovations at Merchants Park.

PASSED AND APPROVED by the Carroll City Council this 13th day of May 2024.

CITY COUNCIL OF THE  
CITY OF CARROLL, IOWA

BY: \_\_\_\_\_  
Gerald E. Fleshner, Mayor

ATTEST:

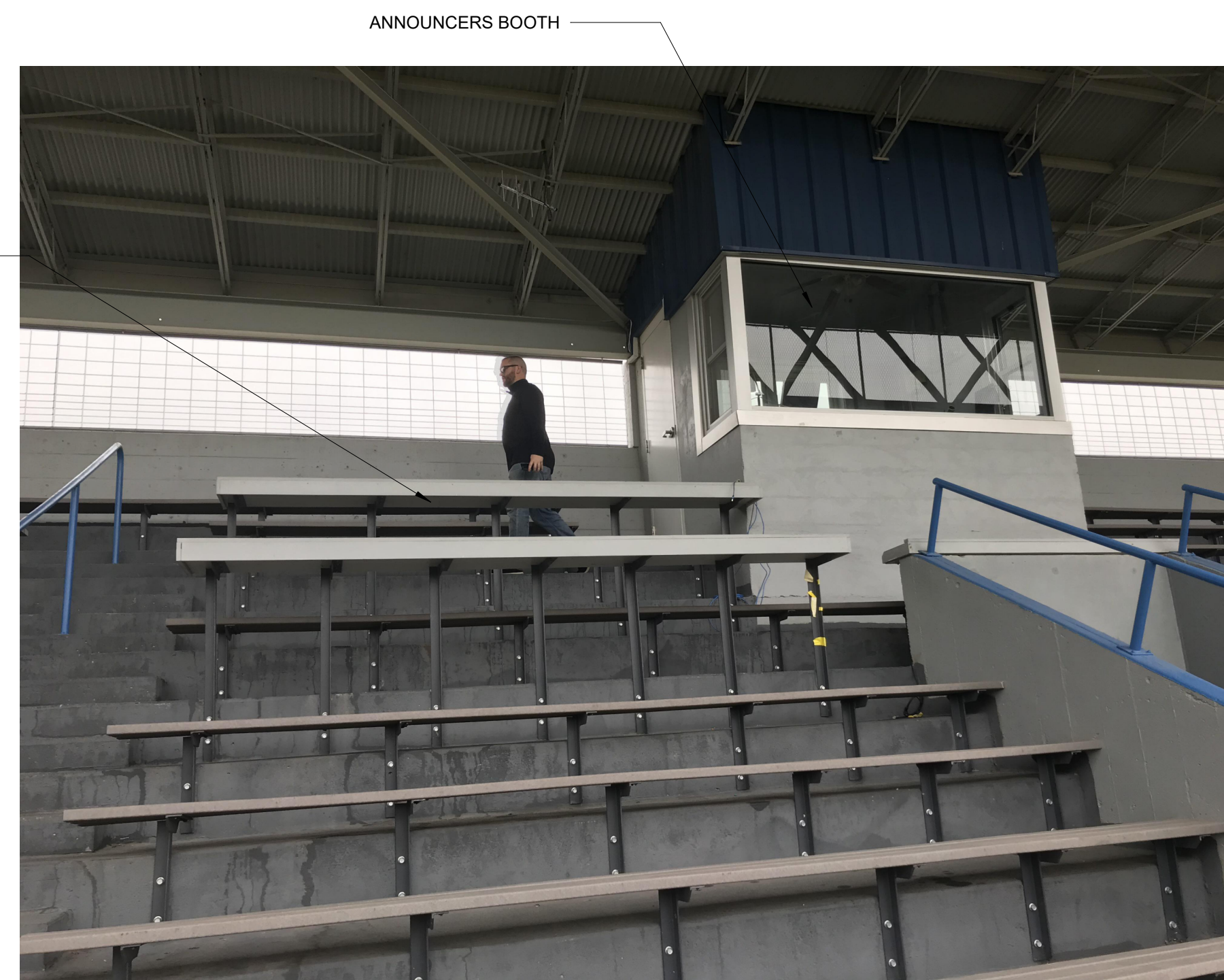
By: \_\_\_\_\_  
Laura A. Schaefer, City Clerk

# RENOVATIONS AT MERCHANTS PARK CITY OF CARROLL, IA

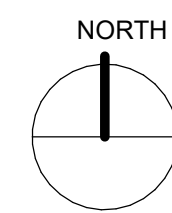
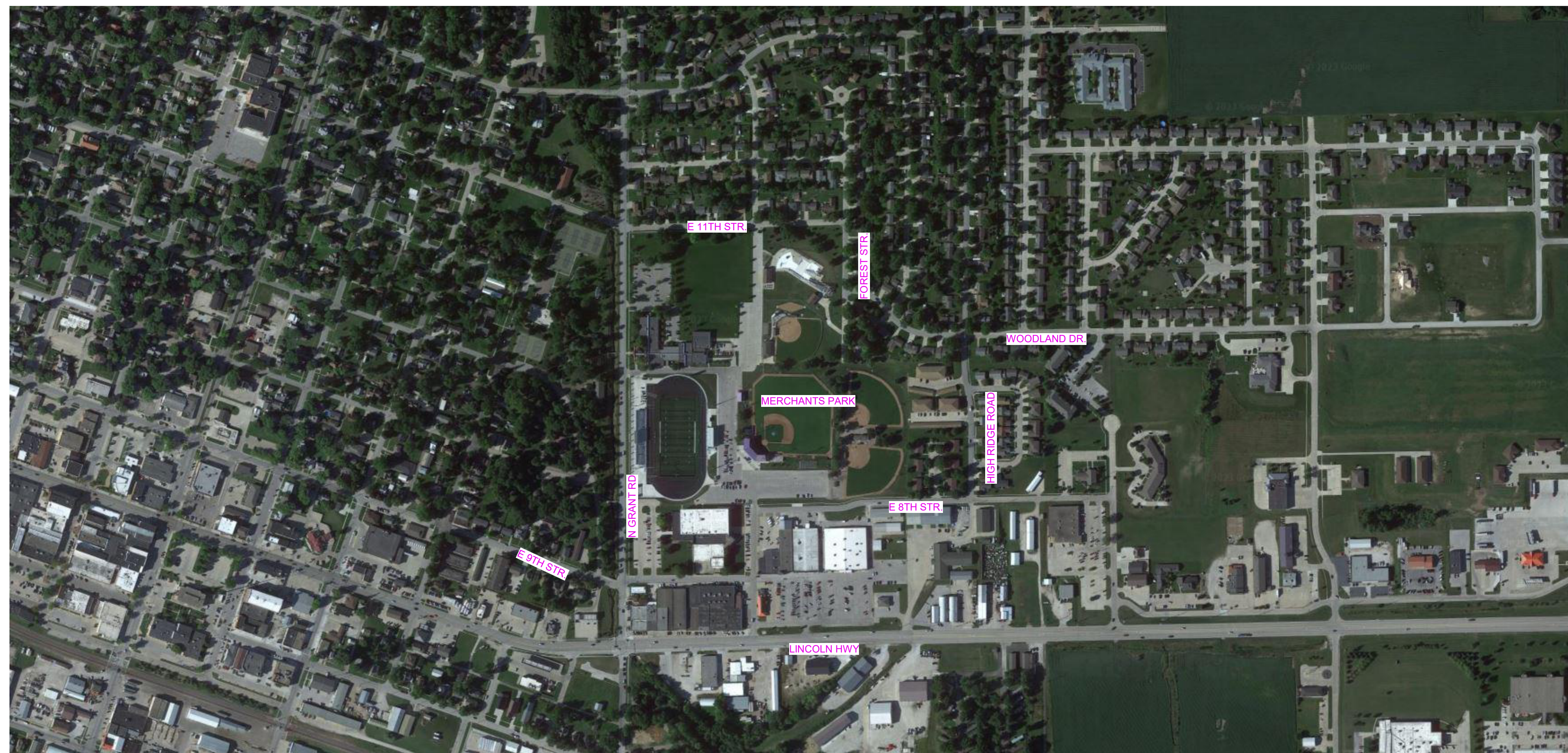
VINE ST., CARROLL, IA



LIGHT TOWER



ANNOUNCERS BOOTH &  
PRESS AREA



VICINITY MAP



DUGOUT

## SHEET INDEX

SHEET LIST	
SHEET	NAME
<b>GENERAL</b>	
G000	COVER SHEET
G001	PROJECT GENERAL INFORMATION
<b>CIVIL</b>	
C001	EXISTING CONDITIONS AND DEMOLITION PLAN
C101	SITE AND GRADING PLAN
C102	DUGOUT SITE AND GRADING PLAN
C501	CONSTRUCTION DETAILS AND SPECIFICATIONS
<b>STRUCTURAL</b>	
S000	STRUCTURAL NOTES
S100	STRUCTURAL PLAN & DETAILS
S200	STRUCTURAL DETAILS - LIGHT TOWERS - ALTERNATE 1
<b>ARCHITECTURAL</b>	
A101	FLOOR PLANS
A120	DUGOUT
A121	PRESS BOX/ANNOUNCER BOOTH
<b>ELECTRICAL</b>	
E000	ELECTRICAL GENERAL INFORMATION
EDS01	ELECTRICAL SITE DEMOLITION PLAN
E101	FIRST FLOOR AND PRESS BOX ELECTRICAL PLAN
ES01	ELECTRICAL SITE PLAN

## CERTIFICATIONS

### STRUCTURAL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNATURE	DATE
PRINTED OR TYPED NAME: <b>Karen E. Hardisty</b>	
LICENSE NUMBER: <b>22588</b>	
MY LICENSE RENEWAL DATE IS DECEMBER 31, <b>2024</b>	
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL	

### ARCHITECT

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNATURE	DATE
PRINTED OR TYPED NAME: <b>Phillip J. Parrott</b>	
LICENSE NUMBER: <b>03601</b>	
MY LICENSE RENEWAL DATE IS JUNE 30, <b>2025</b>	
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL	

### ELECTRICAL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNATURE	DATE
PRINTED OR TYPED NAME: <b>Edin Smallovic</b>	
LICENSE NUMBER: <b>21953</b>	
MY LICENSE RENEWAL DATE IS DECEMBER 31, <b>2024</b>	
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL	

### CIVIL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNATURE	DATE
PRINTED OR TYPED NAME: <b>Brent M Strauch</b>	
LICENSE NUMBER: <b>24125</b>	
MY LICENSE RENEWAL DATE IS DECEMBER 31, <b>2024</b>	
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RENOVATIONS AT MERCHANTS PARK

CITY OF CARROLL, IA  
VINE ST., CARROLL, IA

ISSUED FOR: CONSTRUCTION  
DOCUMENTS  
PROJECT ISSUE DATE: 4/10/2024

PROJECT NUMBER: 2142302790

1

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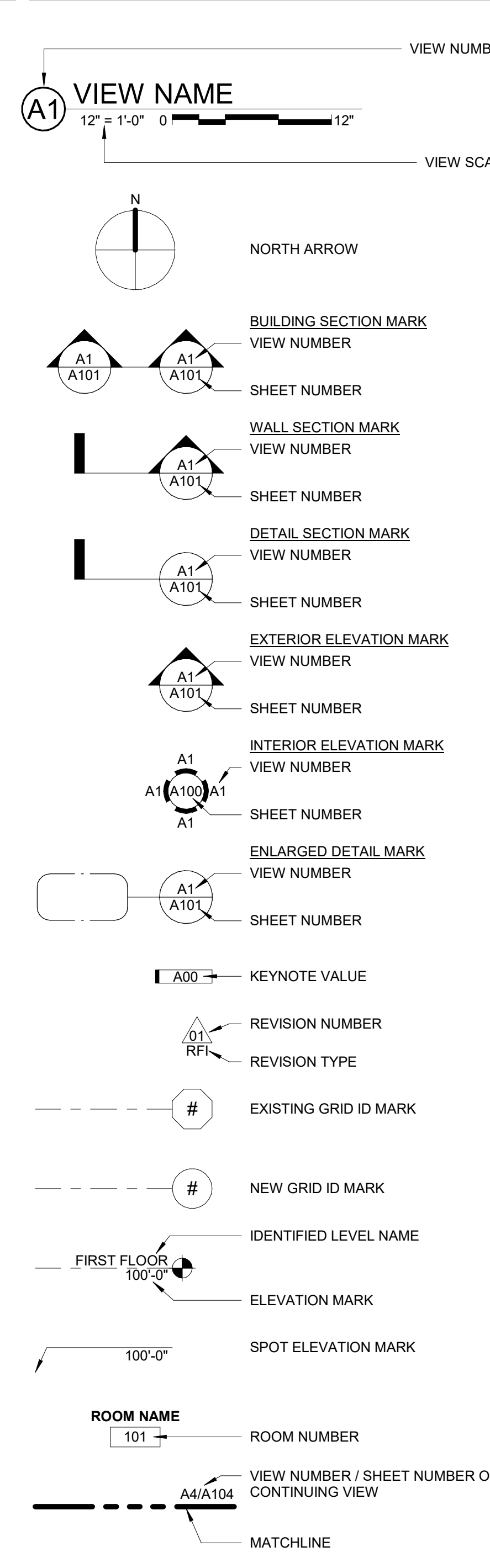
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6

ABBREVIATIONS

Table of abbreviations with columns for SYMBOLS, ABBREVIATIONS, and K. Includes terms like AND, ARCHITECT/ENGINEER, BOTTOM OF BUILDING, CONTRACTOR FURNISHED CONTRACTOR, etc.

GENERAL SYMBOLS LEGEND



PROJECT GENERAL INFORMATION

- 1. STRUCTURAL STEEL MEMBERS AND DECKING PROFILES AS INDICATED ON ARCHITECTURAL DETAILS ARE DIAGRAMMATIC AND MAY VARY FROM ACTUAL PROFILES AND SIZES SPECIFIED IN THE STRUCTURAL DRAWINGS. IN ALL CASES STRUCTURAL DRAWINGS SHALL GOVERN. FIELD VERIFY EXISTING PROFILE DIMENSIONS WHEN REQUIRED TO MATCH OR REPLACE EXISTING. NOTE CHANGES REQUIRED TO ARCHITECTURAL DETAILS IN SHOP DRAWINGS.
2. IF COMPLIANCE WITH TWO OR MORE STANDARDS IS SPECIFIED AND THE STANDARDS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, COMPLY WITH THE MOST STRINGENT REQUIREMENT. REFER UNCERTAINTIES AND REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR A DECISION BEFORE PROCEEDING.
3. OBTAIN AND MAINTAIN A COMPLETE SET OF OWNER-PROVIDED EQUIPMENT DOCUMENTS, INCLUDING ADDENDA AND CHANGES AFTER START OF CONSTRUCTION, FOR REFERENCE AND COORDINATION BY ALL TRADES. COORDINATE WITH EQUIPMENT INSTALLER ON INSTALLATION OF ALL EQUIPMENT.
4. THE INDICATION OF TYPE AND LOCATION OF EXISTING CONDITIONS AND MATERIALS IN THE DRAWINGS IS NOT INTENDED AS EXACT DOCUMENTATION OF IN-PLACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS BEFORE SUBMISSION OF BIDS. EXISTING CONDITIONS VARYING FROM THOSE SHOWN IN THE DRAWINGS WILL NOT BE JUSTIFICATION FOR ADDITIONAL ALLOWANCE TO THE CONTRACTOR. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONDITIONS CONFLICT WITH THE DRAWINGS.
5. PROTECT ALL BUILDING SYSTEMS, NEW AND EXISTING. PROTECT OTHER SENSITIVE EQUIPMENT FROM ALL ACTIVITIES RELATED TO THIS CONTRACT. REMOVE PROTECTION AT END OF CONSTRUCTION.
6. ALL DISSIMILAR METALS SHALL BE ISOLATED FROM EACH OTHER EVEN IF NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.
7. STRUCTURAL INFORMATION ON ARCHITECTURAL DRAWINGS IS FOR REFERENCE ONLY. STRUCTURAL INFORMATION ON STRUCTURAL DRAWINGS AND SPECIFICATIONS SHALL GOVERN.
8. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN LOCATION OF BUILDING ELEMENTS. IF DIMENSIONS ARE NOT AVAILABLE, CONTACT THE ARCHITECT.

Table with columns: DRAWN BY, APPROVED BY, ISSUED FOR, ISSUE DATE, PROJECT NUMBER, FIELD BOOK. Values: CES, PJP, CONSTRUCTION DOCUMENTS, 4/10/2024, 2142302780, Field Book.

As noted, Detail 07142302780-01a of General Notes. Minimum Panel Size 1800x1800mm. Revision: 05/21/24

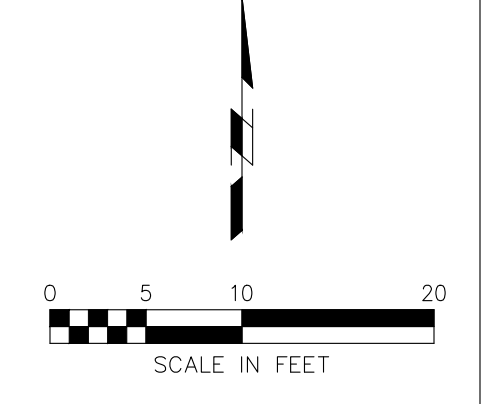
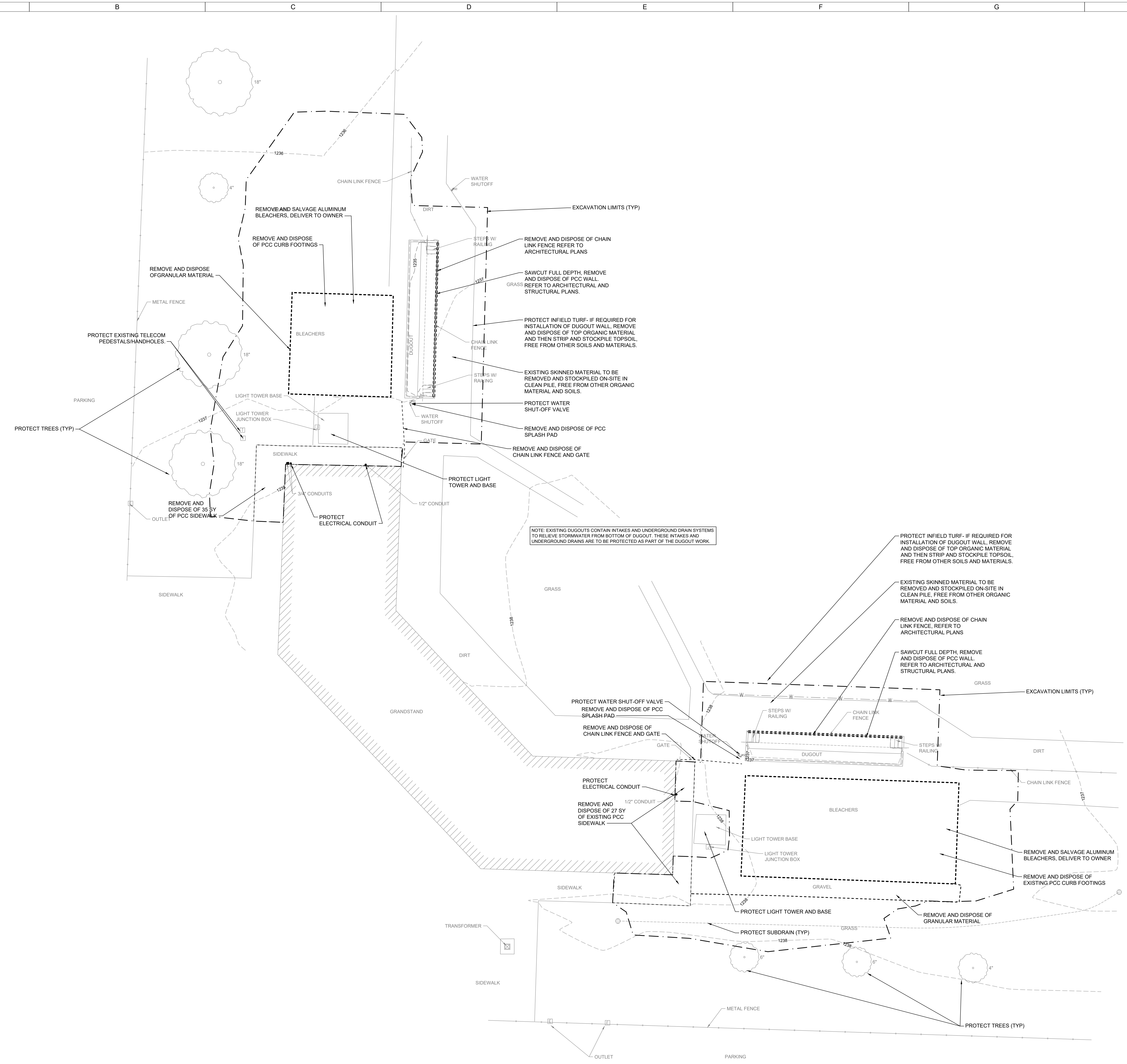
**RENOVATIONS AT MERCHANTS PARK**

CITY OF CARROLL, IA  
VINE ST., CARROLL, IA

DRAWN BY	MJH
APPROVED BY	BMS
ISSUED FOR	CONSTRUCTION DOCUMENTS
ISSUE DATE	04/19/2024
PROJECT NUMBER	2142302790
FIELD BOOK	

**EXISTING CONDITIONS AND DEMOLITION PLAN**

**CD01**



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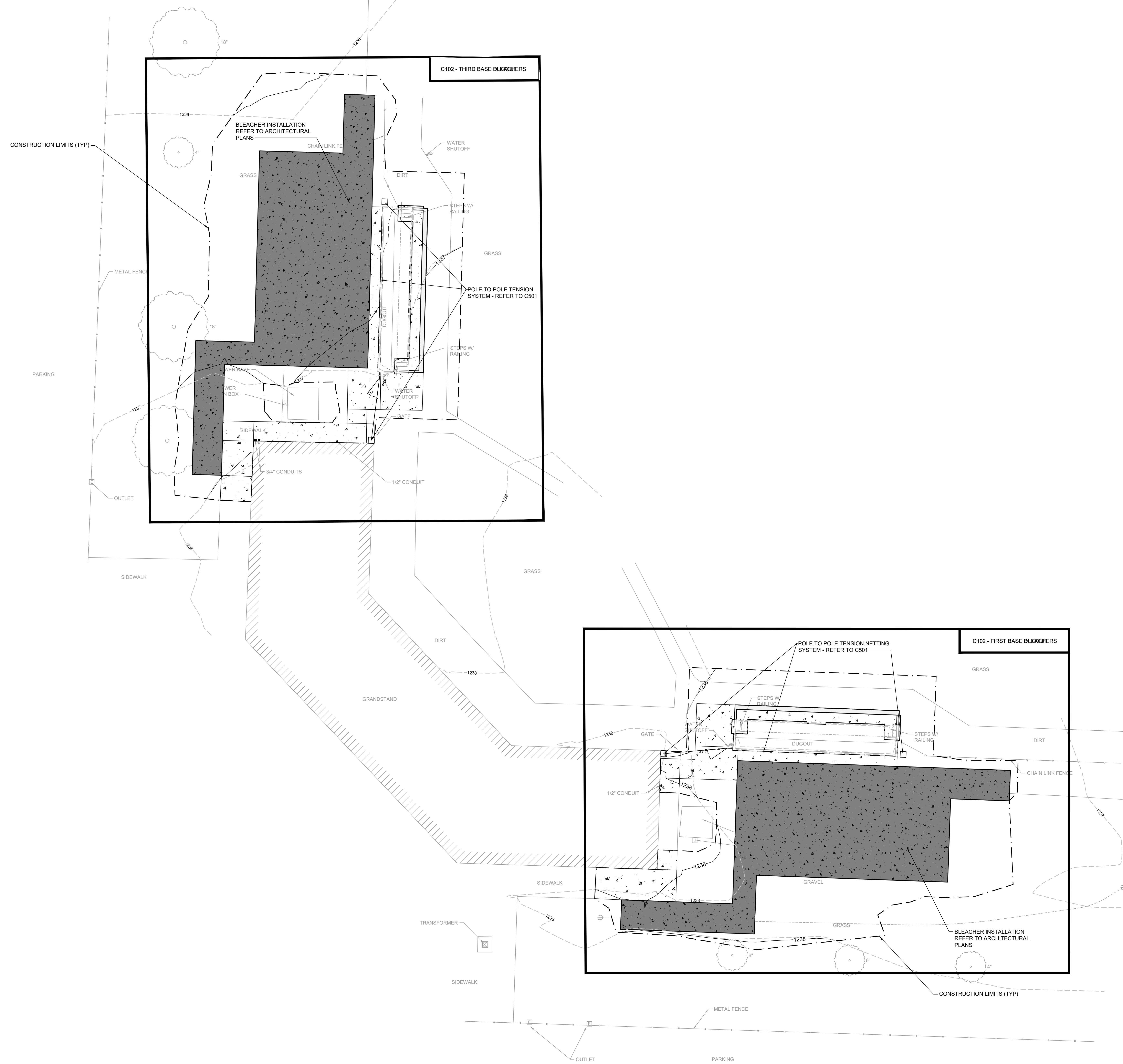
**RENOVATIONS AT MERCHANTS PARK**

CITY OF CARROLL, IA  
VINE ST., CARROLL, IA

DRAWN BY	MJH
APPROVED BY	BMS
ISSUED FOR	CONSTRUCTION DOCUMENTS
ISSUE DATE	04/12/2024
PROJECT NUMBER	2142302790
FIELD BOOK	

**OVERALL SITE AND GRADING PLAN**

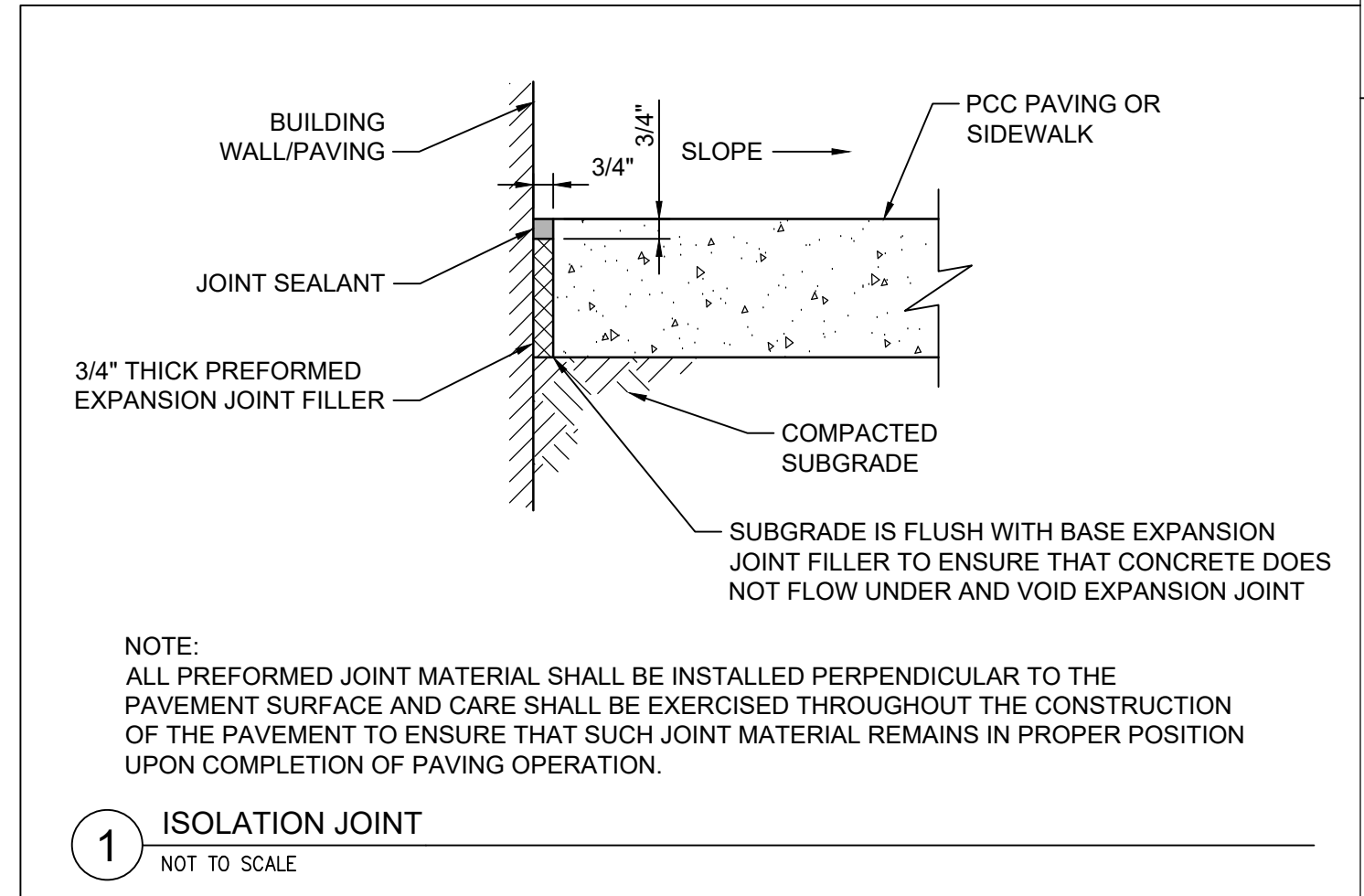
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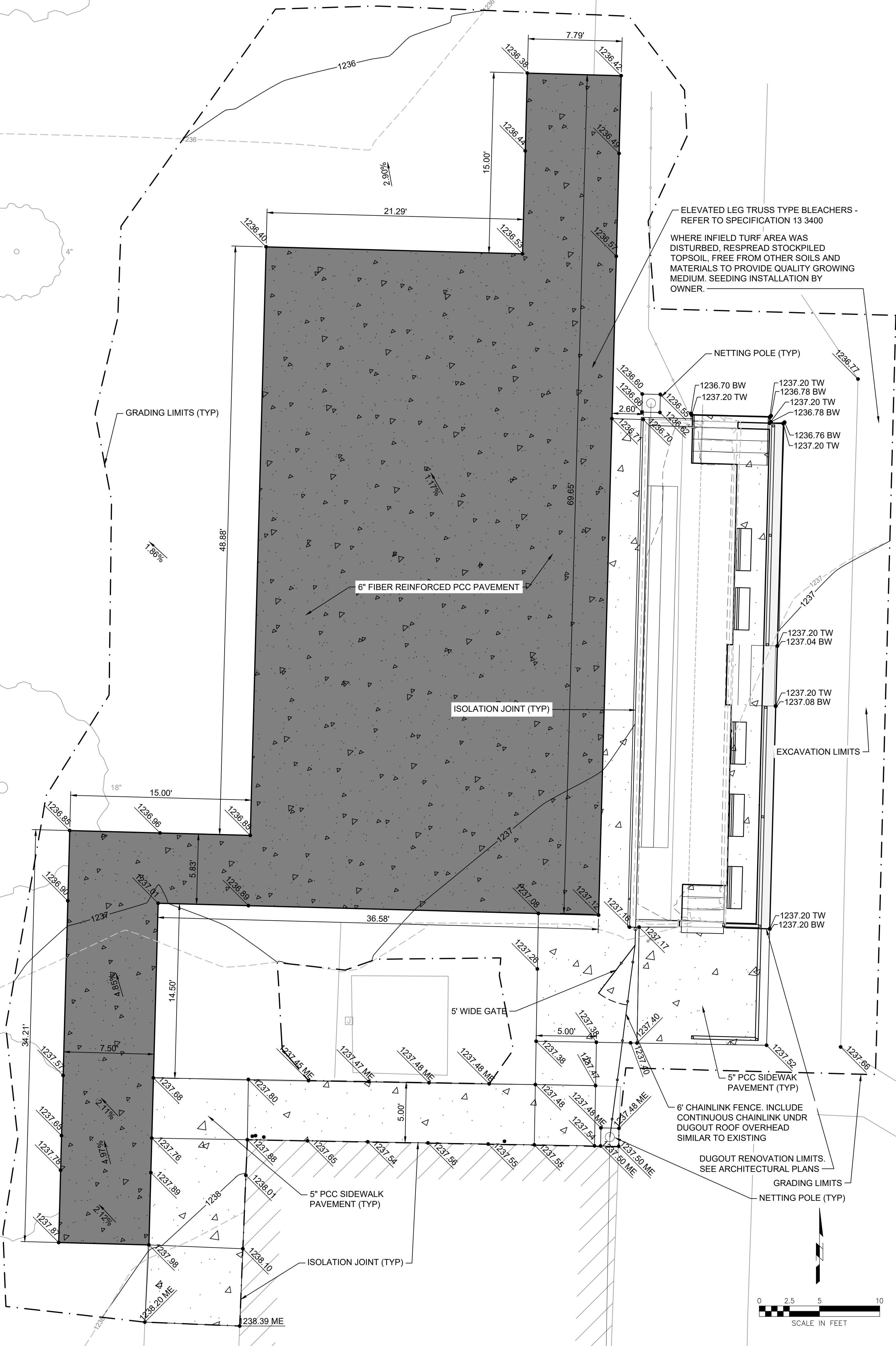
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**GENERAL NOTES**

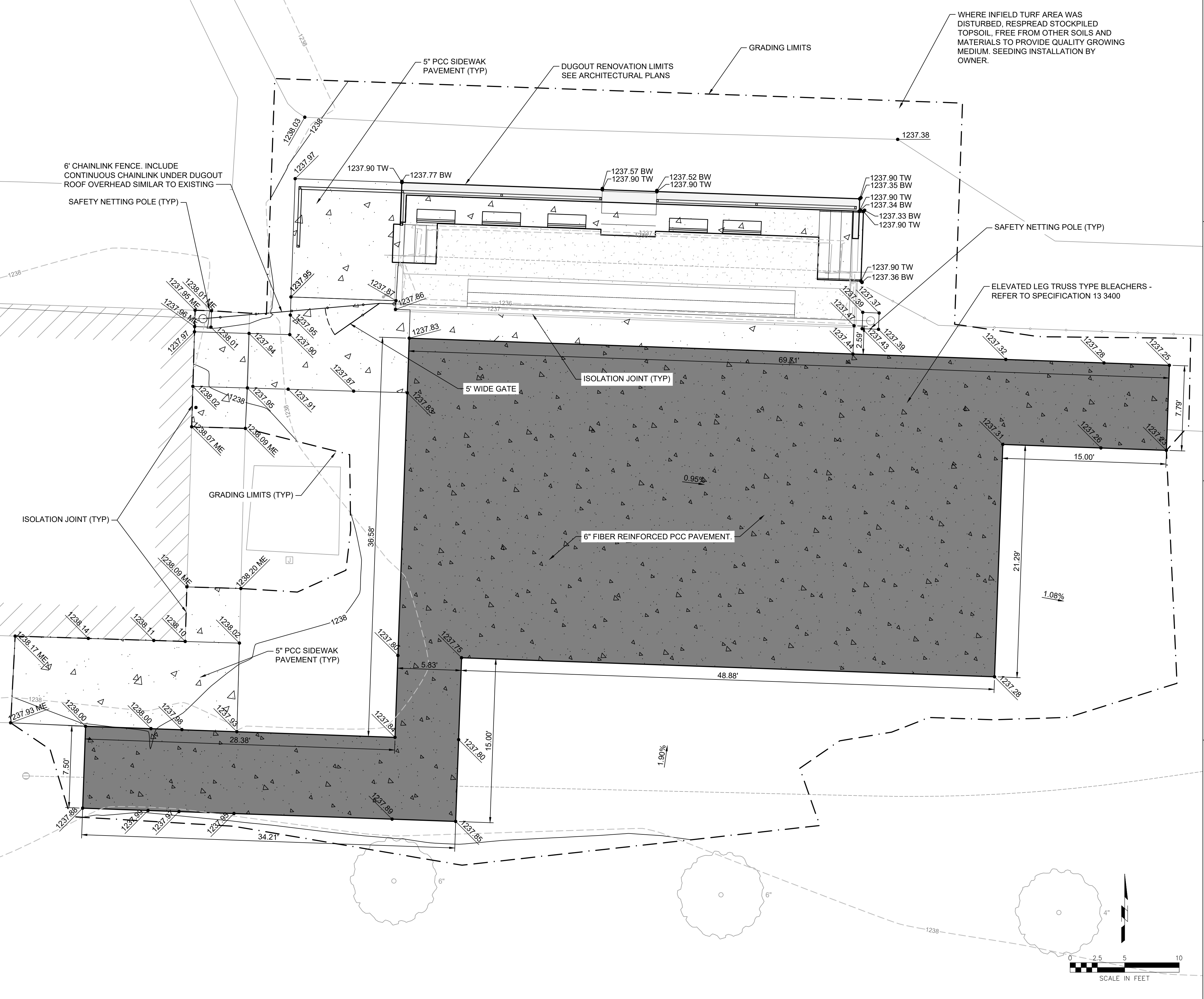
1. THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVE-HATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVE-HATTERY, INC. AND NOT SHOWN ON THIS DRAWING. THE VERIFICATION OF EXISTENCE OF, AND THE DETERMINATION OF THE EXACT LOCATION OF, UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).
2. NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION AND NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.
4. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS. CONTRACTOR TO HIRE A PRIVATE LOCATOR FOR PRIVATE UTILITY LOCATES AT THE CONTRACTOR'S EXPENSE.
5. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
7. PROTECT EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PRIVATE UTILITIES.
8. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
9. SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
10. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
11. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
12. CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
13. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
14. REPAIR OR REPLACE EXISTING FACILITIES (CURBS, PAVEMENT, PAVEMENT MARKINGS, UTILITIES, ETC.) TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
15. WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE OWNER'S REPRESENTATIVE, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT PRIOR AUTHORIZATION.
16. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
17. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
18. SPOT ELEVATIONS SHOWN REPRESENT ELEVATION AT FINISHED GRADE.
19. EROSION CONTROL MEASURES SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION TO MEET REQUIREMENTS OF ALL REGULATORY AGENCIES.
20. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
22. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING AS NOTED ON DRAWINGS.
23. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACCESS TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION. ANY WORK ON A PUBLIC STREET OR ALLEY THAT REQUIRES CLOSURE WILL REQUIRE A CLOSURE NOTICE SUBMITTED TO CITY OF BLOOMFIELD PUBLIC WORKS 48 HOURS IN ADVANCE.
24. A PRE-CONSTRUCTION MEETING SHALL BE HELD FOLLOWING ISSUANCE OF THE NOTICE TO PROCEED BUT PRIOR TO COMMENCING WORK.
25. WORK HOURS WILL BE LIMITED FROM 7 AM TO 7 PM (EXCEPT FOR SAW-CUTTING PAVEMENT JOINTS).
26. ADJUST ALL VALVES, MANHOLES, CASTINGS, PULL BOXES, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
27. CONSTRUCTION ACTIVITIES ARE TO BE LIMITED TO THE CONSTRUCTION LIMITS. IF ADDITIONAL AREAS ARE NEEDED FOR STAGING, STORAGE, ETC., IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN WRITTEN PERMISSION FROM THE PROPERTY OWNER(S). COPIES OF THE AGREEMENTS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE PRIOR TO THE USE OF PROPERTY.
28. IT IS INTENDED THAT ALL COSTS OF MATERIALS, EQUIPMENT, TOOLS, LABOR AND INCIDENTALS BE PAID FOR UNDER THE ITEMS LISTED ON THE BIDDER'S PROPOSAL. BEFORE SUBMITTING A BID ON THIS PROJECT, THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, SPECIFICATIONS, SPECIAL PROVISIONS AND THE JOB SITE. IF ANY DISCREPANCIES OR DELETIONS OCCUR IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPORT SAME TO SHIVE-HATTERY, INC. IN WRITING AND OBTAIN WRITTEN CLARIFICATION AND/OR INSTRUCTIONS ON HOW TO PROCEED.
29. THE MOST RECENT EDITION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SHALL APPLY TO ALL SITE WORK ON THIS PROJECT.



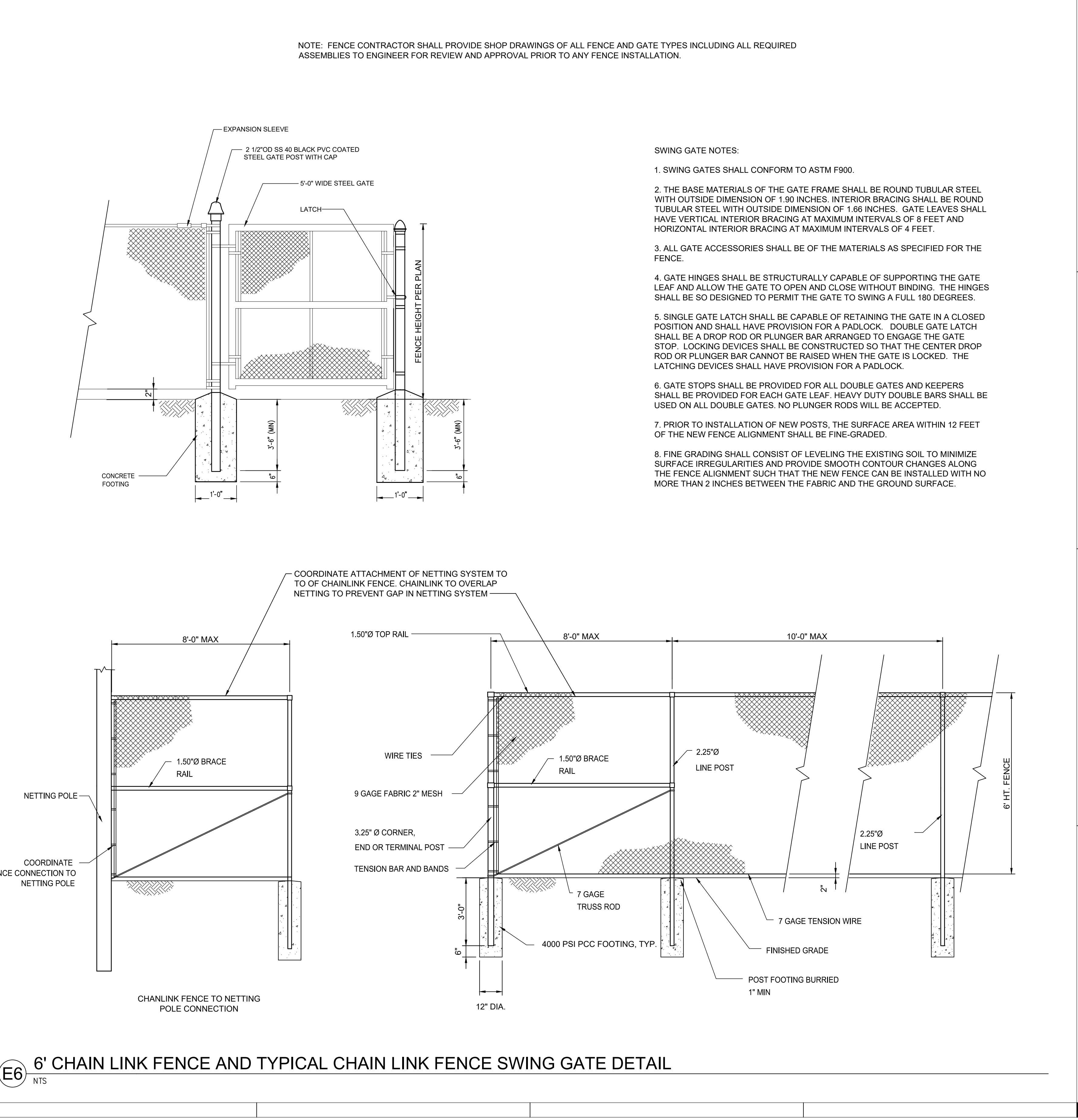
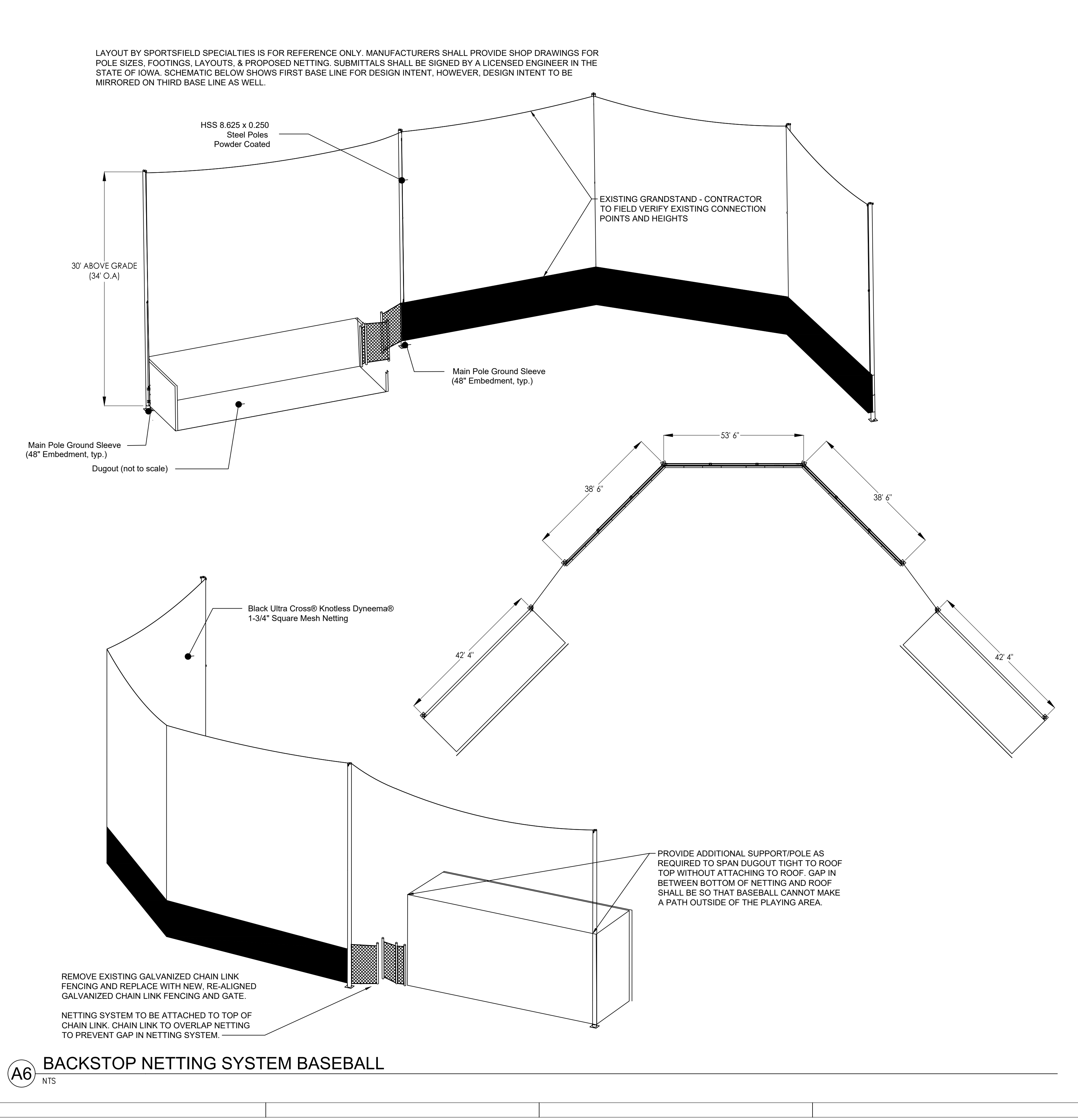
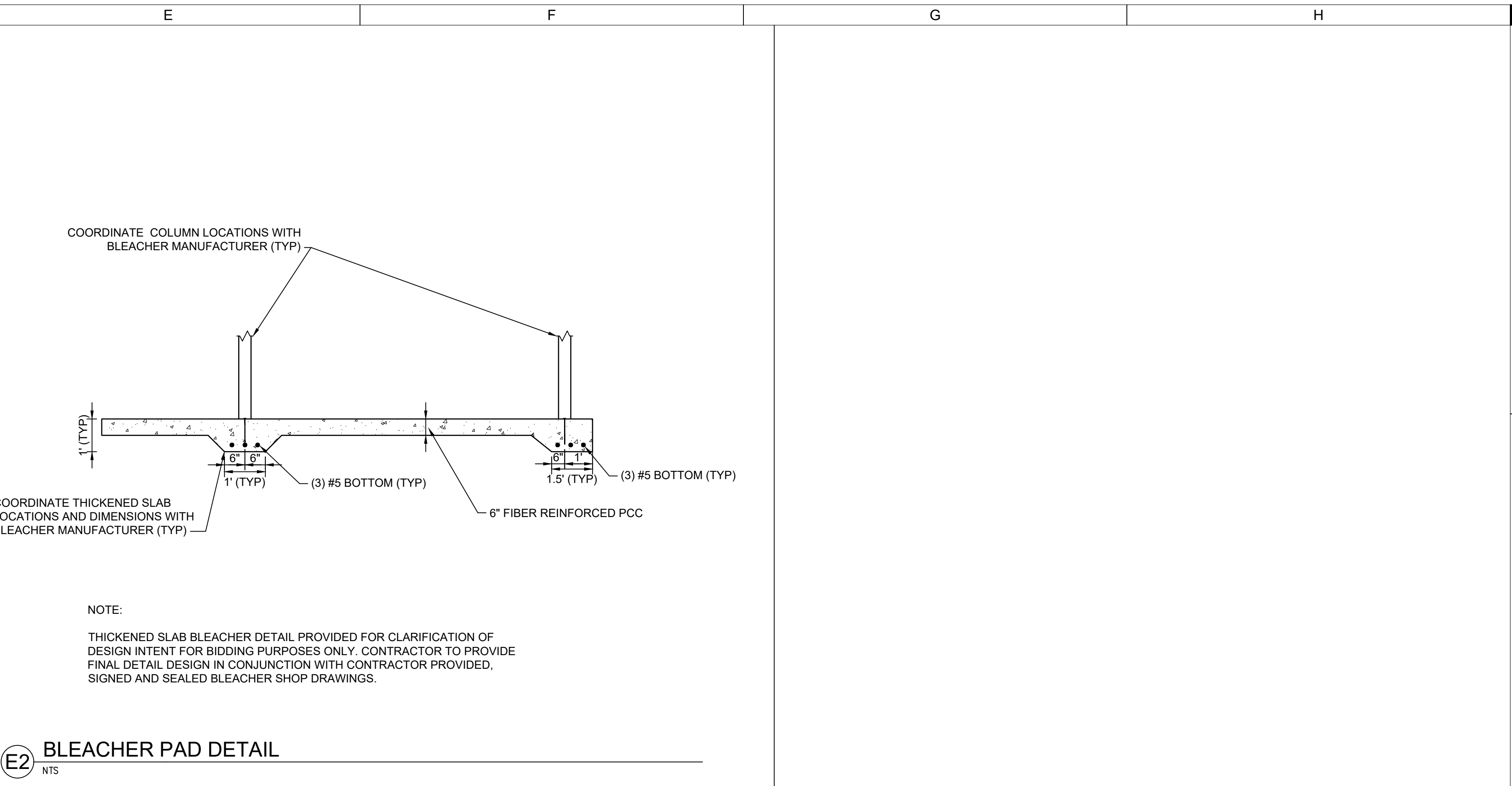
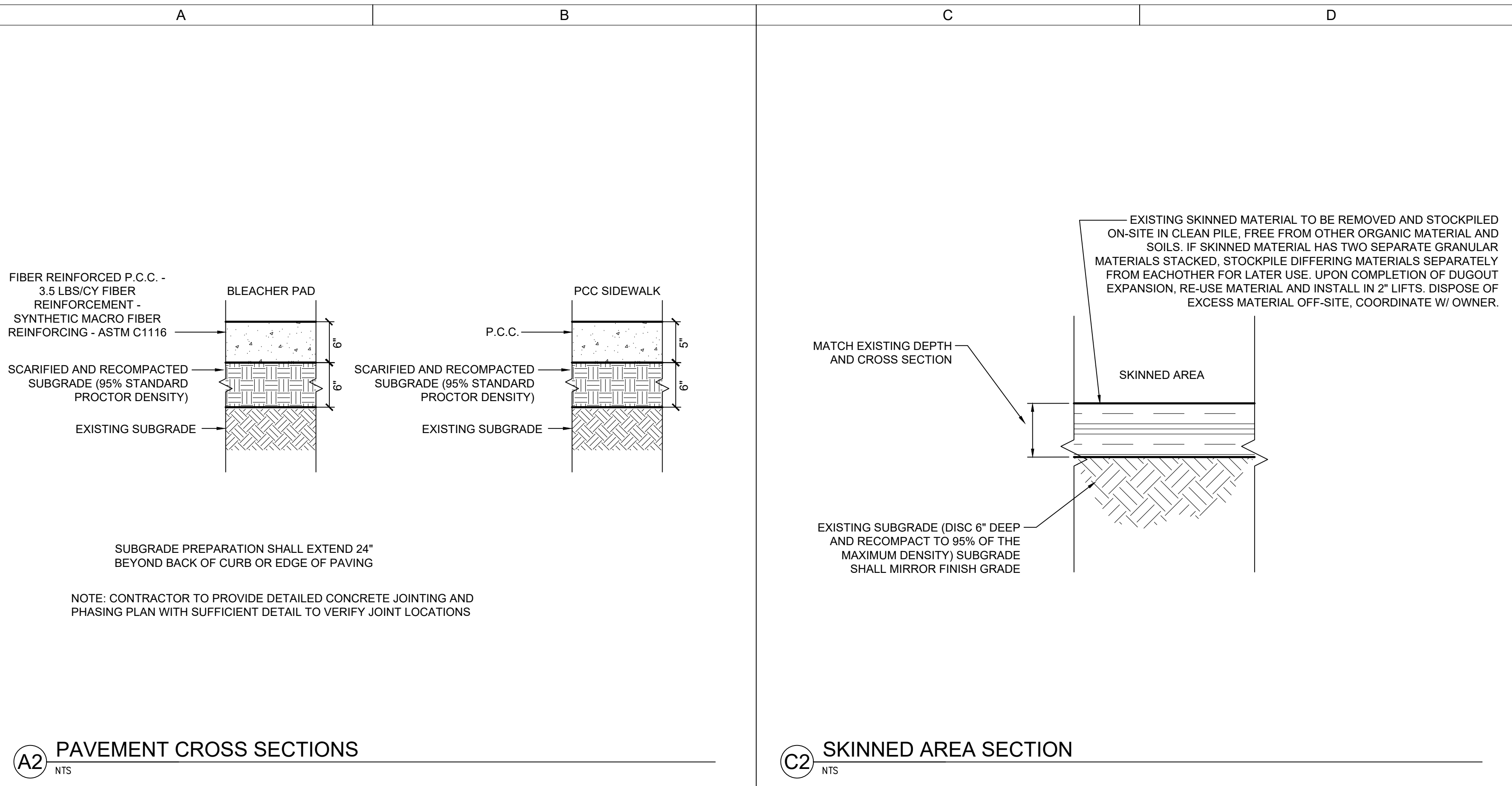
**THIRD BASE BLEACHERS**



**FIRST BASE BLEACHERS**



DRAWN BY	MIH
APPROVED BY	BMS
ISSUED FOR	CONSTRUCTION DOCUMENTS
ISSUE DATE	04/19/2024
PROJECT NUMBER	2142302790
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CONSTRUCTION DETAILS AND SPECIFICATIONS	C501
DRAWN BY	M.H.
APPROVED BY	B.M.S.
ISSUED FOR	CONSTRUCTION DOCUMENTS
ISSUE DATE	04/19/2024
PROJECT NUMBER	2142302790
FIELD BOOK	

GENERAL NOTES

- 1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO SUPPLEMENT THE DRAWINGS AND SPECIFICATIONS...
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL PROJECT DRAWINGS AND SPECIFICATIONS...
3. THE INTENT OF THESE PLANS AND NOTES IS TO PRESENT THE PROJECT REQUIREMENTS...

DESIGN INFORMATION

- 1. CODES:
A. INTERNATIONAL BUILDING CODE (IBC) 2015
B. AMERICAN CONCRETE INSTITUTE - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318)
C. AMERICAN SOCIETY OF CIVIL ENGINEERS AND STRUCTURAL ENGINEERING INSTITUTE (ASCE/SEI 7) - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL SHALL CONFORM TO THE REFERENCED EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS"
2. STRUCTURAL STEEL MATERIAL STANDARDS
WIDE FLANGE SECTIONS ASTM A992 Fy = 50 KSI
ANGLES, CHANNELS & PLATES ASTM A36 Fy = 36 KSI
SQUARE AND RECTANGULAR HSS ASTM A500, GR C Fy = 46 KSI
ROUND HSS ASTM A500, GR C Fy = 46 KSI
STANDARD PIPE SECTIONS ASTM A53, GR B Fy = 35 KSI
CAP AND BASE PLATE ASTM A36 Fy = 36 KSI
GUSSET PLATES ASTM A36 Fy = 36 KSI
STIFFENER PLATES ASTM A36 Fy = 36 KSI
CONNECTION PLATES AND ANGLES ASTM A36 Fy = 36 KSI

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE PUBLICATIONS: ACI 301, ACI 308.1, ACI 308.1.1, ACI 308.1.2, ACI 318, AND ACI 318 UNLESS NOTED OTHERWISE.
2. CONCRETE COMPRESSIVE STRENGTH (28 DAY)(F'c)
FOOTINGS AND FOUNDATION WALLS 4000 PSI
SLAB ON GRADE 4000 PSI

Table with 3 columns: BAR SIZE, TYPICAL, TOP BARS. Rows include #3, #4, #5, #6, #7, #8, #9, #10, #11 with corresponding dimensions.

- 9. WALLS AND GRADE BEAMS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE, UNLESS APPROVED BY THE ENGINEER.
10. REINFORCING STEEL SHALL BE SECURELY FASTENED INTO FORMS PRIOR TO POURING CONCRETE. WET SETTING OF REINFORCING STEEL WILL NOT BE ACCEPTED PER ACI.
11. CONCRETE MIX - FOOTINGS, FOUNDATIONS, AND WALLS
COARSE AGGREGATE 100% PASSING 1" SIEVE
FINE AGGREGATE 100% PASSING 3/8" SIEVE
WATER/CEMENT RATIO 0.45
SLUMP (NO WATER REDUCER) 4" +/- 1"
SLUMP (WITH WATER REDUCER) 4" TO 8"
AIR CONTENT 6% +/- 1.5%

REINFORCED UNIT MASONRY

- 1. CONCRETE MASONRY UNIT STANDARDS AND COMPRESSIVE STRENGTHS:
DESIGN ASSEMBLY STRENGTH, Fm, BY UNIT STRENGTH METHOD 2500 PSI
CONCRETE MASONRY UNITS (NORMAL WEIGHT) ASTM C90 3250 PSI
MASONRY GROUT ASTM C476 2500 PSI
MASONRY MORTAR, TYPE S ASTM C270 1800 PSI
REINFORCING FOR MASONRY ASTM A615 Fy = 60 KSI
PLATE AND BENT BAR ANCHORS ASTM A36
WIRE MESH TIES ASTM A185
JOINT REINFORCEMENT, LADDER TYPE, 1.7(9GA) ASTM A1064
ANCHOR RODS FOR MASONRY ASTM A307

Table with 4 columns: BAR SIZE, 6" CMU, 8" CMU, 10" CMU, 12" CMU. Rows include #3, #4, #5, #6, #7, #8, #9 with corresponding lengths.

- 2. THE LOAD BEARING CONCRETE MASONRY WALLS FOR THIS PROJECT WERE DESIGNED TO SPAN VERTICALLY AND BE BRACED BY THE ROOF AND FLOOR FRAMING ELEMENTS OF THE STRUCTURE...
3. SPLICE REINFORCING USING CONTACT LAPS TO THE LENGTHS INDICATED BELOW:
MINIMUM LAP SPlice LENGTH
BAR SIZE 6" CMU 8" CMU 10" CMU 12" CMU
#3 27" 27" 27" 27"
#4 36" 36" 36" 36"
#5 45" 45" 45" 45"
#6 54" 54" 54" 54"
#7 NP 63" 63" 63"
#8 NP 113" 72" 72"
#9 NP NP 62" 62"

- 4. ALL LOAD BEARING REINFORCED UNIT MASONRY WALLS SHALL HAVE (1) #6 BAR VERTICALLY IN GROUDED CELL AT ALL CORNERS, ENDS OF WALLS, WALL INTERSECTIONS, AND IMMEDIATELY ADJACENT TO EACH SIDE OF CONTROL JOINTS AND WALL OPENINGS.
5. CONCRETE MASONRY UNIT CORES SHALL BE PLACED WITH CELLS IN VERTICAL ALIGNMENT. ALL CORES CONTAINING REINFORCEMENT AND ANCHORS SHALL BE FILLED SOLID WITH GROUT.
6. PROVIDE A MINIMUM OF 1/2" OF GROUT BETWEEN THE MAIN REINFORCING AND THE MASONRY UNITS. ALL VERTICAL REINFORCEMENT SHALL BE CENTERED IN THE WALL UNLESS NOTED OTHERWISE.

- 12. DOWELS IN FOOTINGS SHALL BE PLACED TO ALIGN WITH CORES CONTAINING REINFORCING STEEL. COORDINATE PLACEMENT BEFORE CONSTRUCTION OF FOOTING BEGINS.
13. GROUT SOLID ALL CMU CORES BELOW ADJACENT GRADE OR BELOW SLAB ON GRADE CONSTRUCTION.
14. DURING CONSTRUCTION OF WALLS, COVER TOPS OF WALLS, PARTIALLY COMPLETED MASONRY AND ANY OPEN WALL CAVITIES AT SILLS OR HEADERS WITH WATERPROOF SHEETING AT THE END OF EACH DAY'S WORK.

- 15. MASONRY WALL CONSTRUCTION TOLERANCES
A. MAXIMUM VARIATION FROM UNIT TO UNIT: 1/16"
B. MAXIMUM VARIATION FROM PLANE OF WALL: 1/4"
C. MAXIMUM VARIATION FROM PLUMB: 1/4"
D. MAXIMUM VARIATION FROM LEVEL COURSEING: 1/8"
E. MAXIMUM VARIATION OF JOINT THICKNESS: 1/8"
F. MAXIMUM VARIATION FROM CROSS SECTIONAL THICKNESS OF WALL: 1/4"

STATEMENT OF SPECIAL INSPECTIONS

THIS STATEMENT OF SPECIAL INSPECTIONS IS SUBMITTED AS A CONDITION FOR PERMIT ISSUANCE IN ACCORDANCE WITH THE SPECIAL INSPECTION AND STRUCTURAL TESTING REQUIREMENTS OF THE BUILDING CODE...
[X] STRUCTURAL [ ] MECHANICAL / ELECTRICAL / PLUMBING
[ ] ARCHITECTURAL [ ] OTHER

QUALIFICATIONS OF INSPECTORS AND TESTING TECHNICIANS

THE QUALIFICATIONS OF ALL PERSONNEL PERFORMING SPECIAL INSPECTION AND TESTING ACTIVITIES ARE SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL...
KEY FOR MINIMUM QUALIFICATIONS OF INSPECTION AGENTS:
WHEN THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE DEEMS IT APPROPRIATE THAT THE INDIVIDUAL PERFORMING A STIPULATED TEST OR INSPECTION HAVE A SPECIFIC CERTIFICATION OR LICENSE AS INDICATED BELOW...

CONTRACTOR'S RESPONSIBILITY REGARDING INSPECTIONS

- 1. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSPECTIONS AND TESTS. SUFFICIENT NOTICE AND LEAD TIME MUST BE ALLOWED FOR THE INSPECTION AND TESTING TO BE PERFORMED WITHOUT IMPENDING CONSTRUCTION OPERATIONS.
2. THE CONTRACTOR MUST COOPERATE WITH THE INSPECTIONS AND TESTING AGENCIES. SAFE ACCESS MUST BE PROVIDED TO ALL INSPECTION AND TEST TO BE PERFORMED. THIS MAY REQUIRE THE CONTRACTOR TO PROVIDE SCAFFOLDING, LADDERS OR LIFTS.
3. WHEN DEFICIENCIES ARE IDENTIFIED, THE CONTRACTOR MUST TAKE CORRECTIVE ACTIONS TO COMPLY WITH THE CONTRACT DOCUMENTS OR REMEDY THE DEFICIENCIES AS DIRECTED BY THE REGISTERED DESIGN PROFESSIONAL.

CONCRETE CONSTRUCTION

Table with 4 columns: SERVICE, EXTENT, AGENT. Rows include inspect size, spacing, cover, positioning and grade of reinforcing steel; review concrete batch tickets; test concrete compressive strength; inspect placement of concrete; inspect for maintenance of specified curing; inspect for formwork for shape, lines, location; concrete strength testing.

STEEL CONSTRUCTION

Table with 4 columns: SERVICE, EXTENT, AGENT. Rows include fabricator certification; material verification; verify member locations, braces, stiffeners; structural steel bolting; inspection tasks prior to bolting; inspection tasks during bolting; inspection tasks after bolting.

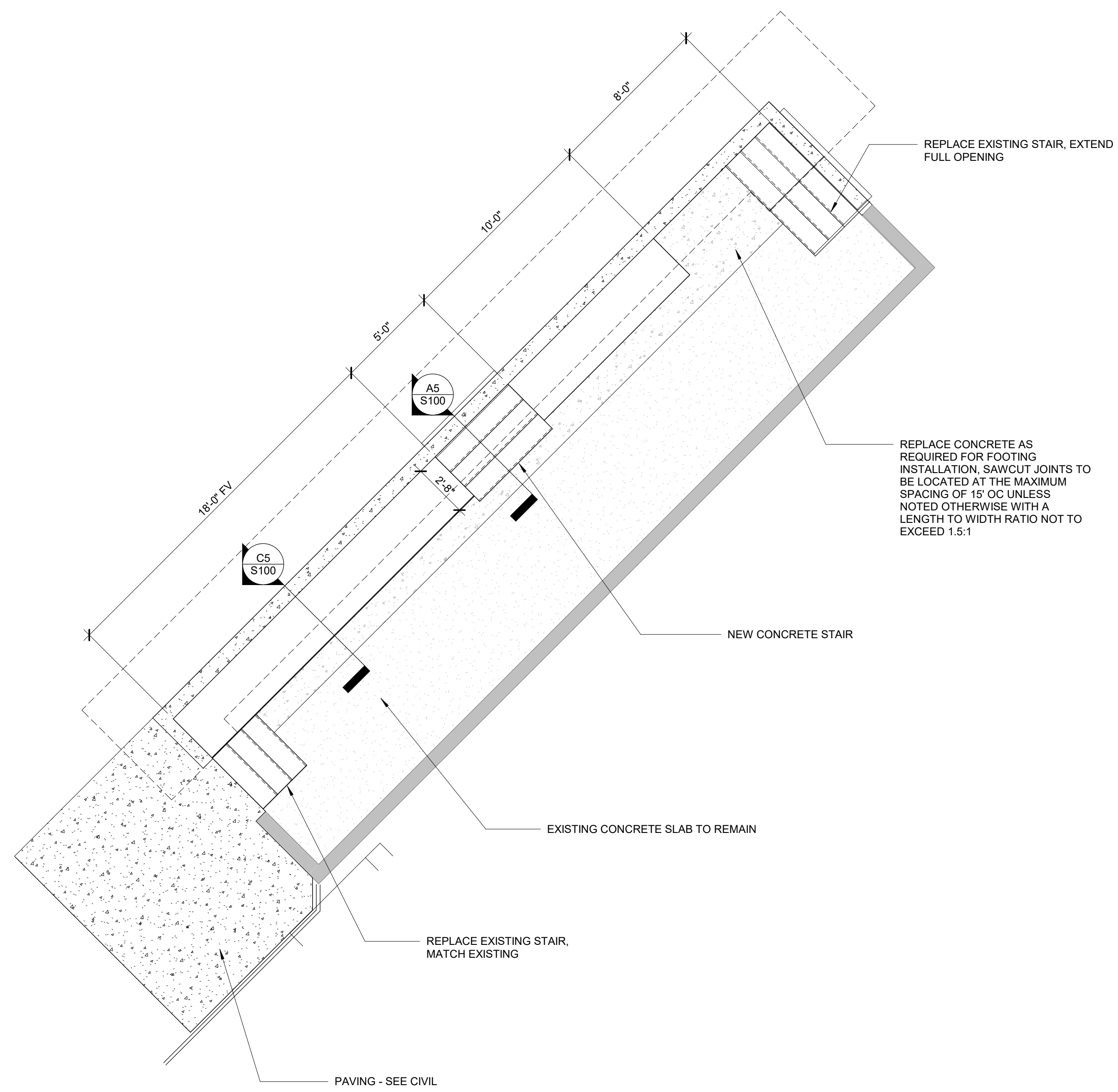
MASONRY CONSTRUCTION LEVEL B QUALITY ASSURANCE

Table with 4 columns: SERVICE, EXTENT, AGENT. Rows include verify compliance with approved submittals; verification of FM prior to construction; verification of slump flow and visual stability index; verify proportions of site-mixed mortar; verify grade, type, and size of reinforcement; verify placement of grout and prestressing grout; verify grout space prior to grouting; verify placement of grout and prestressing grout for bonded tendons; verify size and location of structural masonry elements; verify preparation, construction, and protection of masonry during cold weather.

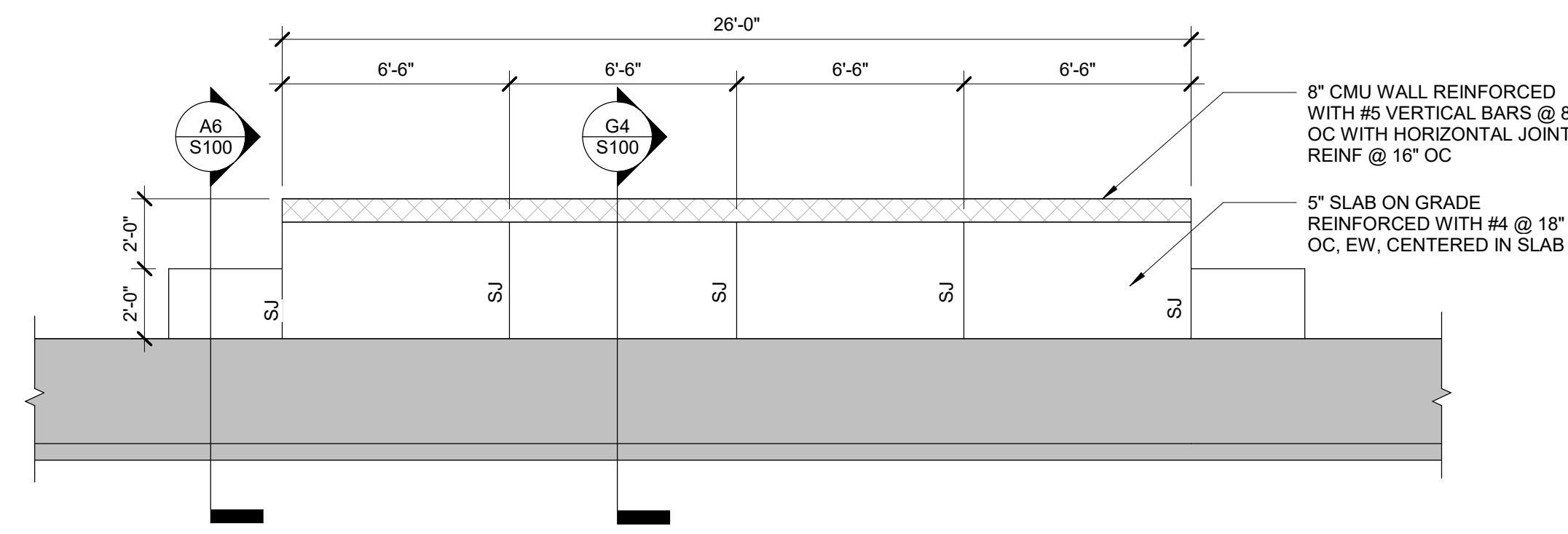
SOILS

Table with 4 columns: SERVICE, EXTENT, AGENT. Rows include verify materials below shallow foundations; verify excavations; perform sieve tests; prior to placement of controlled fill.

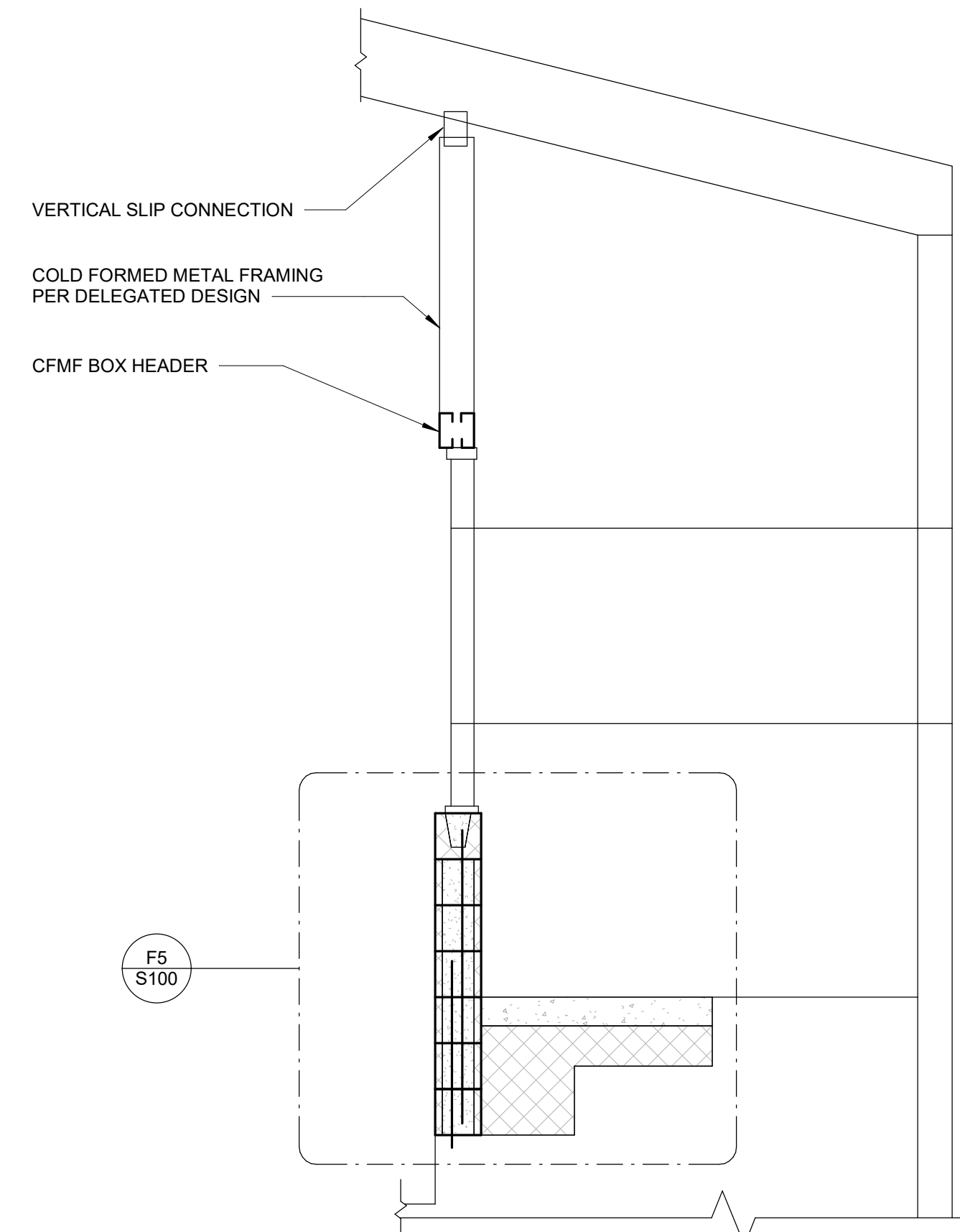
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APPROVED BY	KEH
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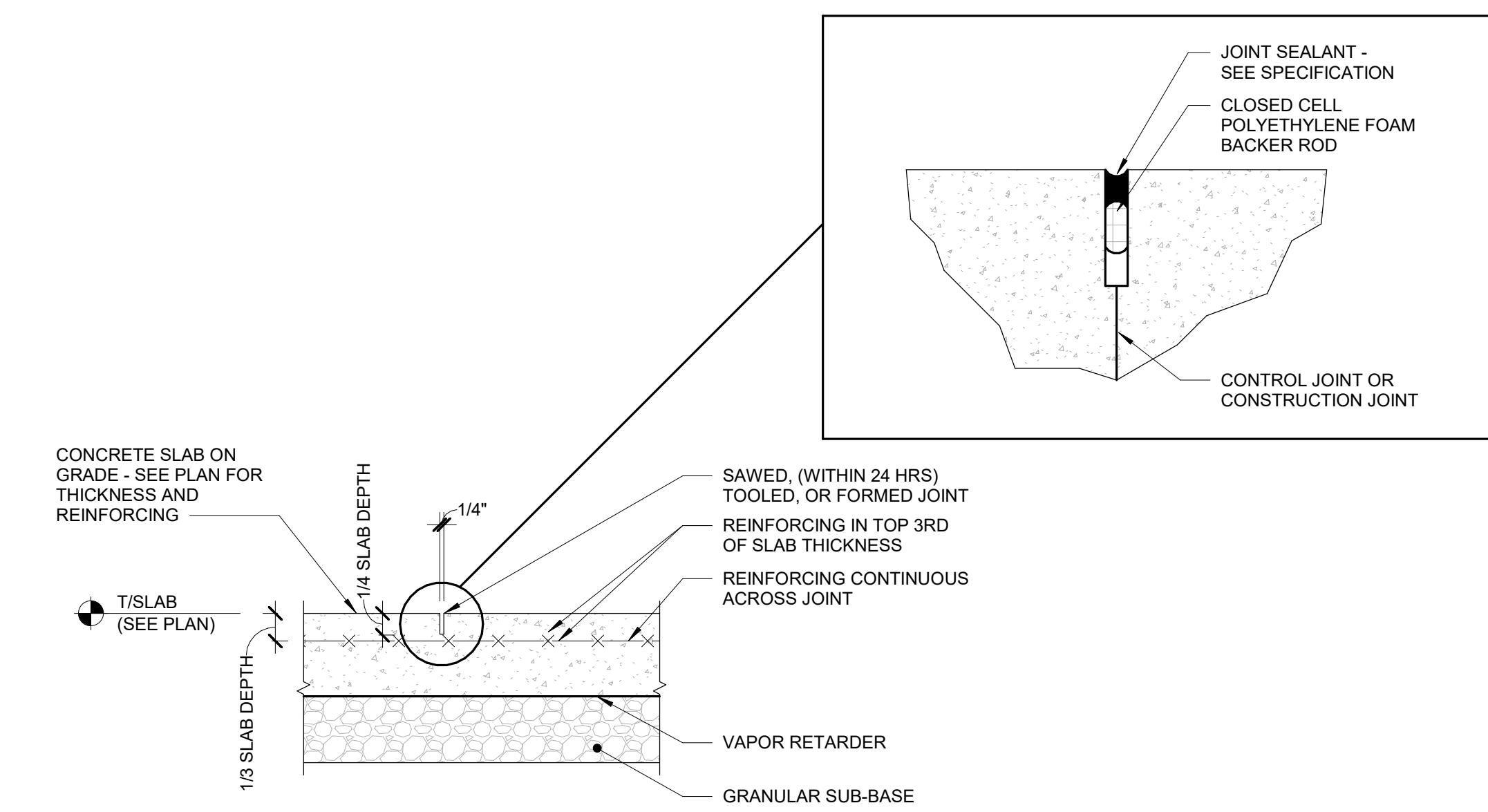
**A4** FIRST BASE DUGOUT PLAN VIEW - (THIRD BASE DUGOUT MIRRORED)  
1/4" = 1'-0"



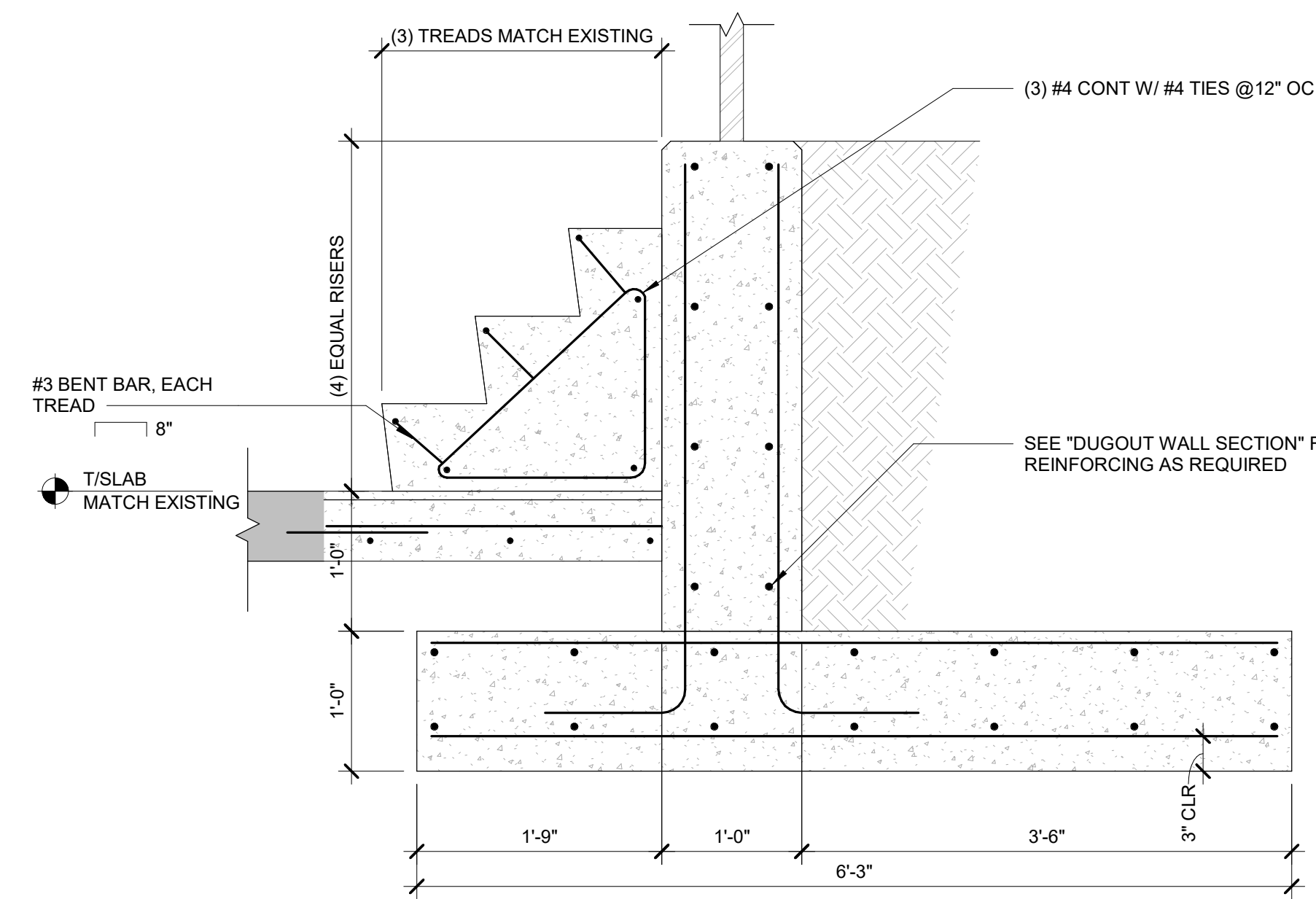
**D2** PRESS BOX SLAB PLAN  
1/4" = 1'-0"



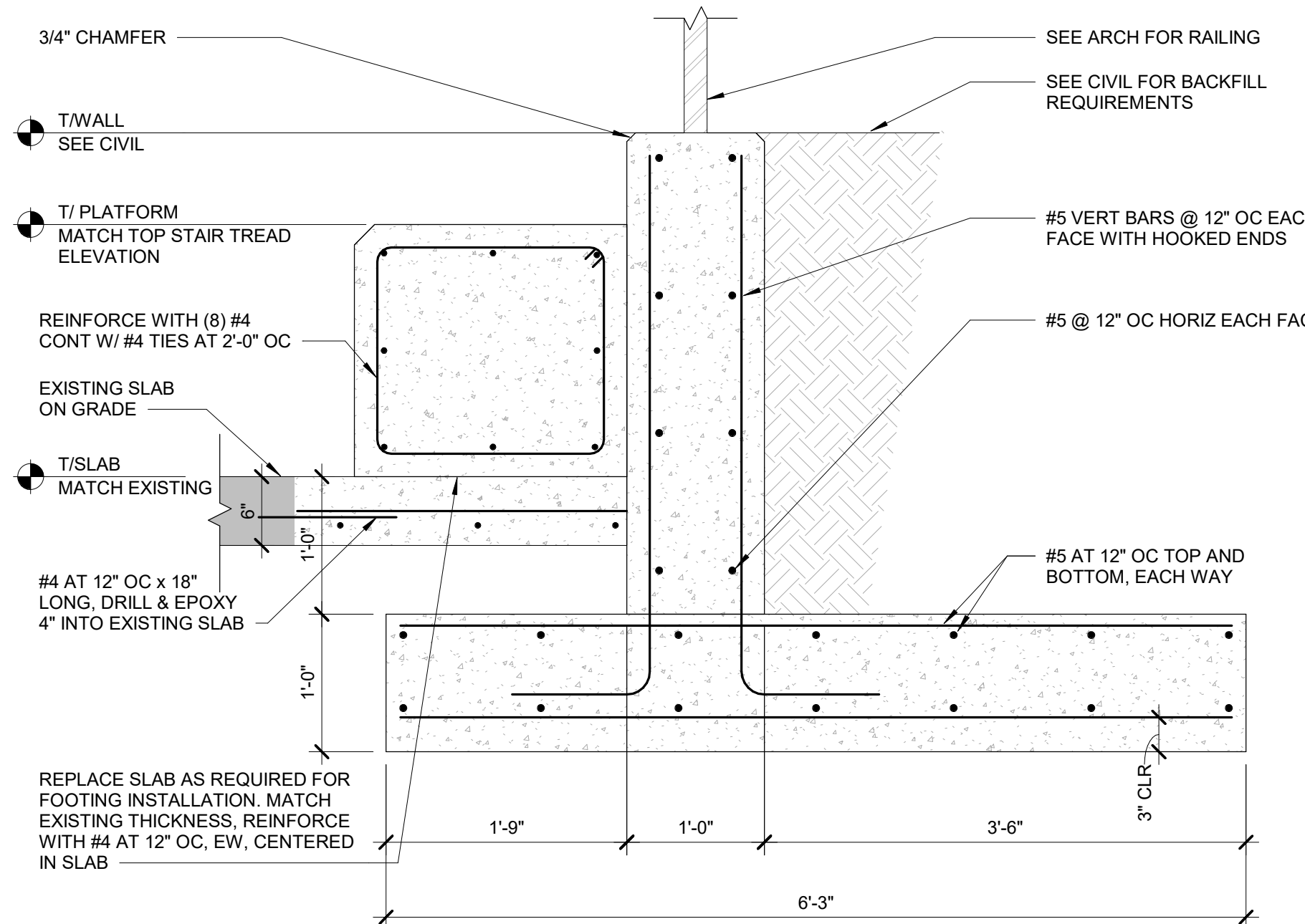
**G4** PRESS BOX SECTION  
1/2" = 1'-0"



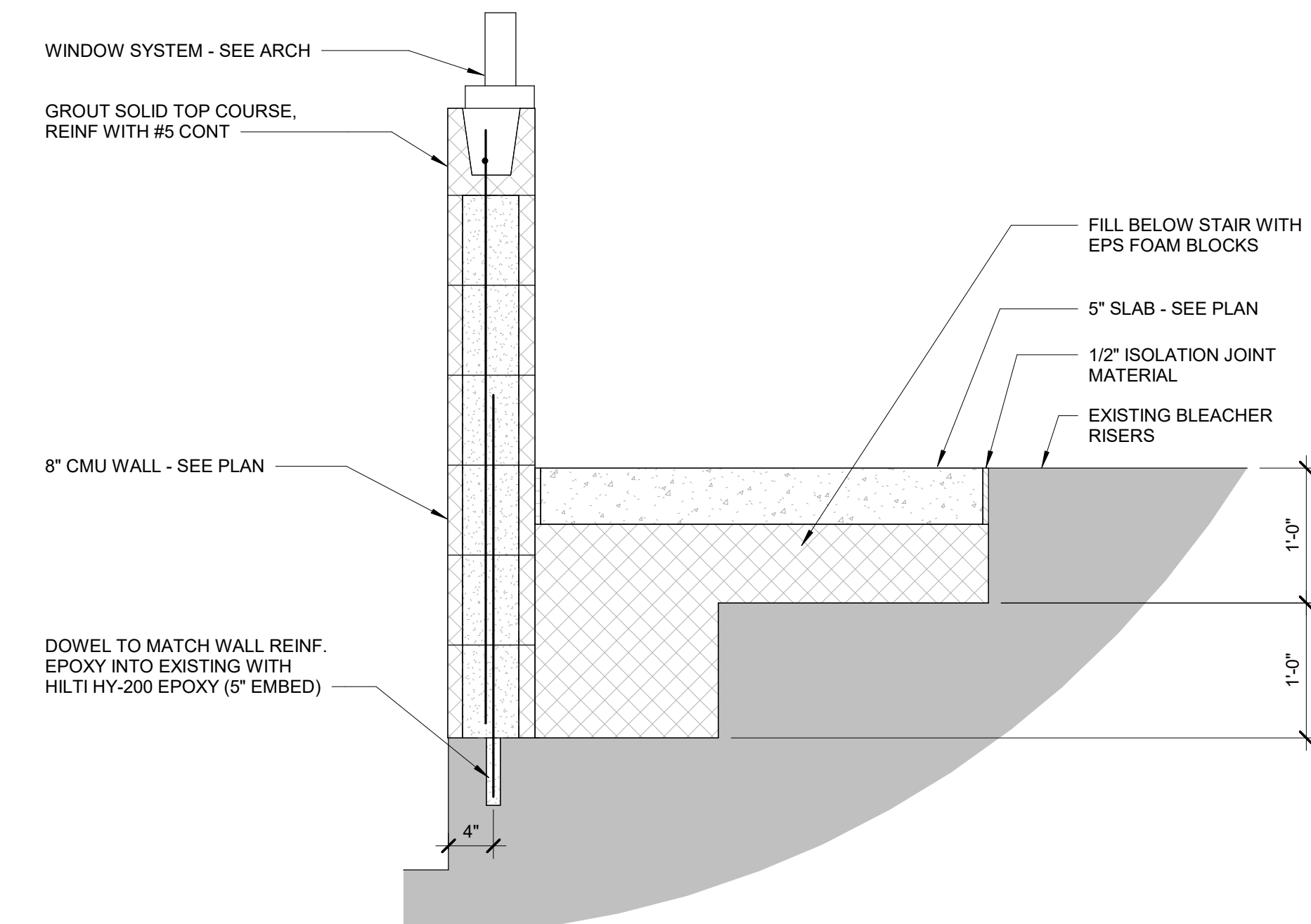
**D4** SAWCUT JOINT DETAIL  
1 1/2" = 1'-0"



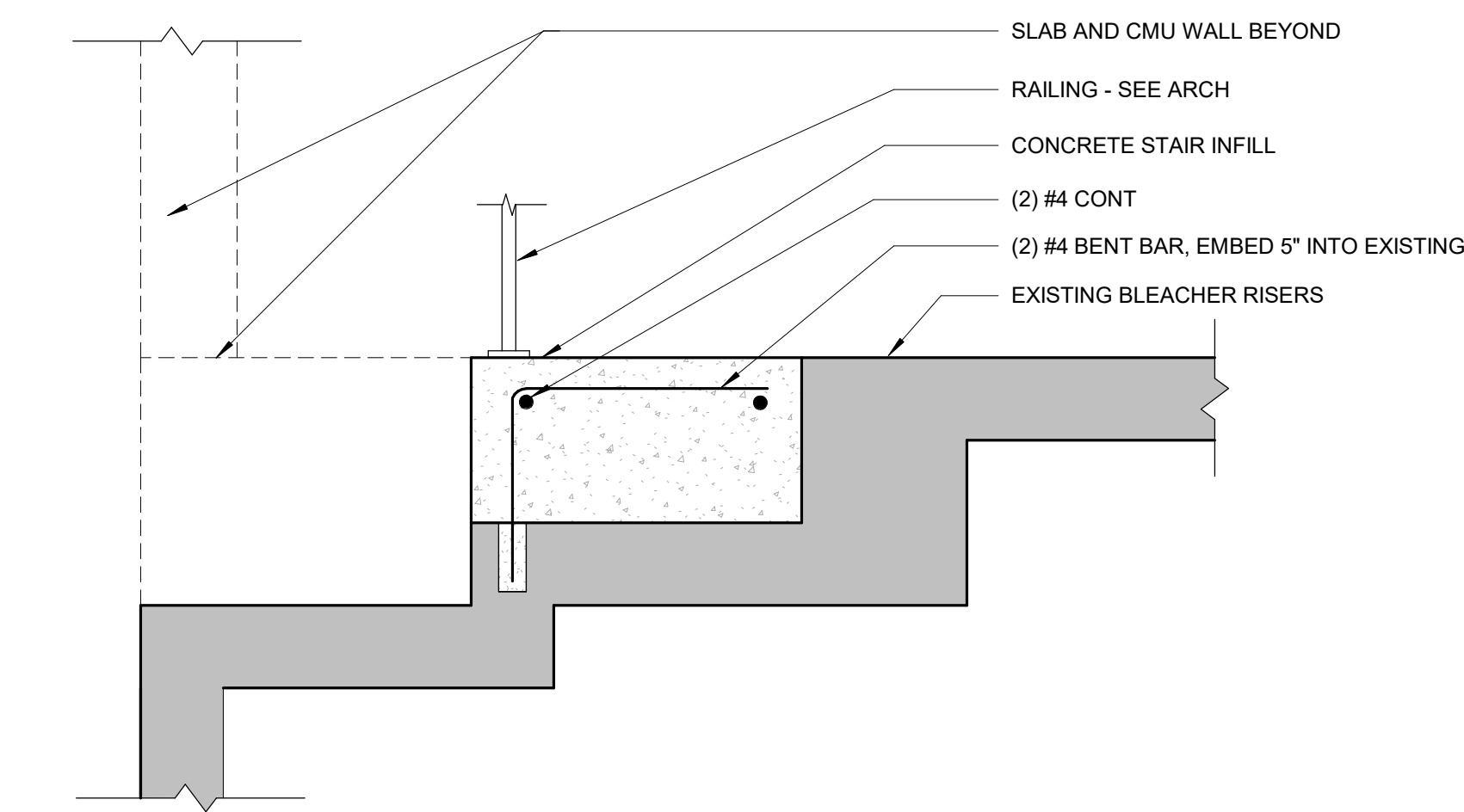
**A5** DUGOUT STAIR SECTION  
1" = 1'-0"



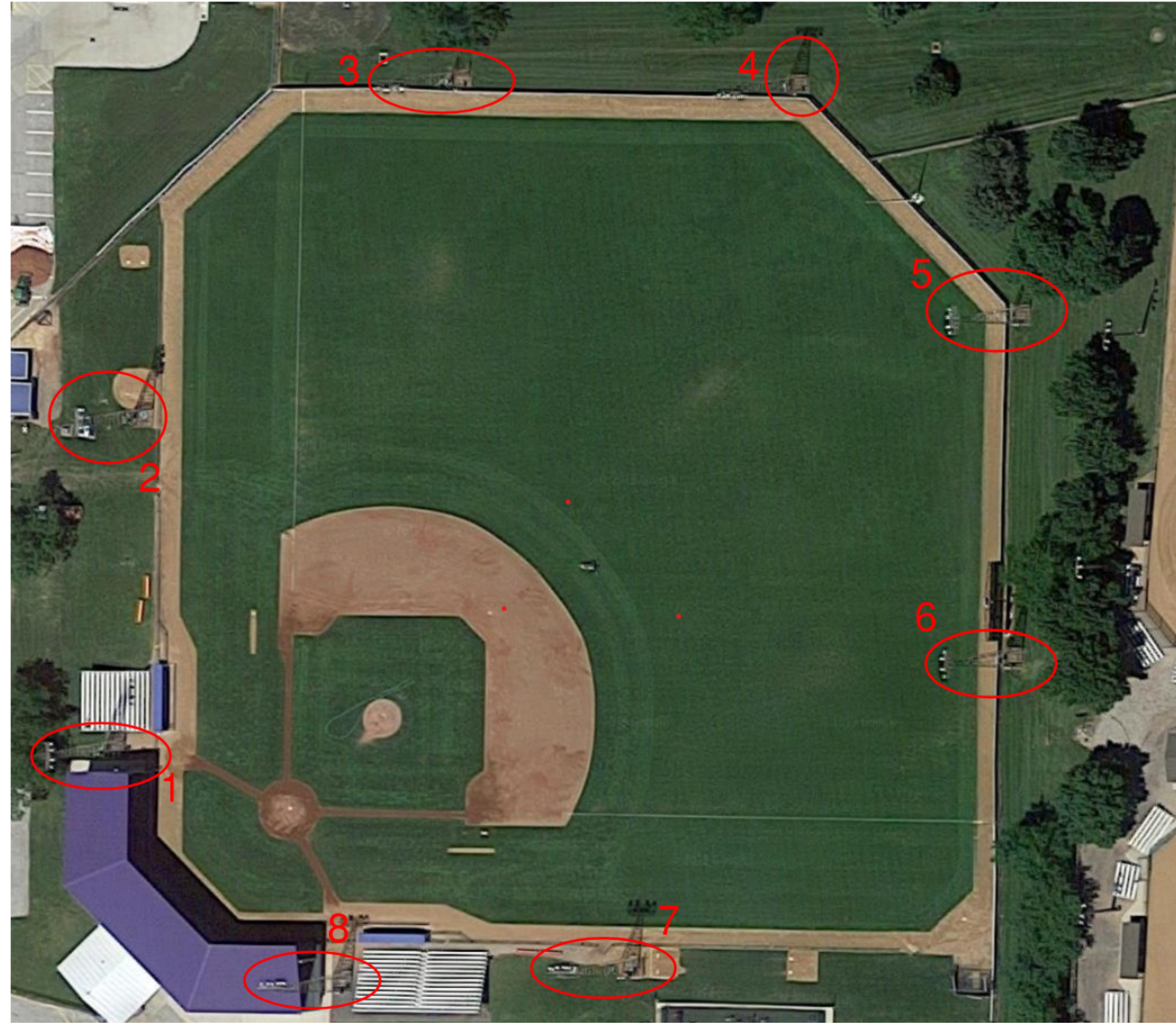
**C5** DUGOUT WALL SECTION  
1" = 1'-0"



**F5** CMU WALL AT PRESS BOX DETAIL  
1" = 1'-0"



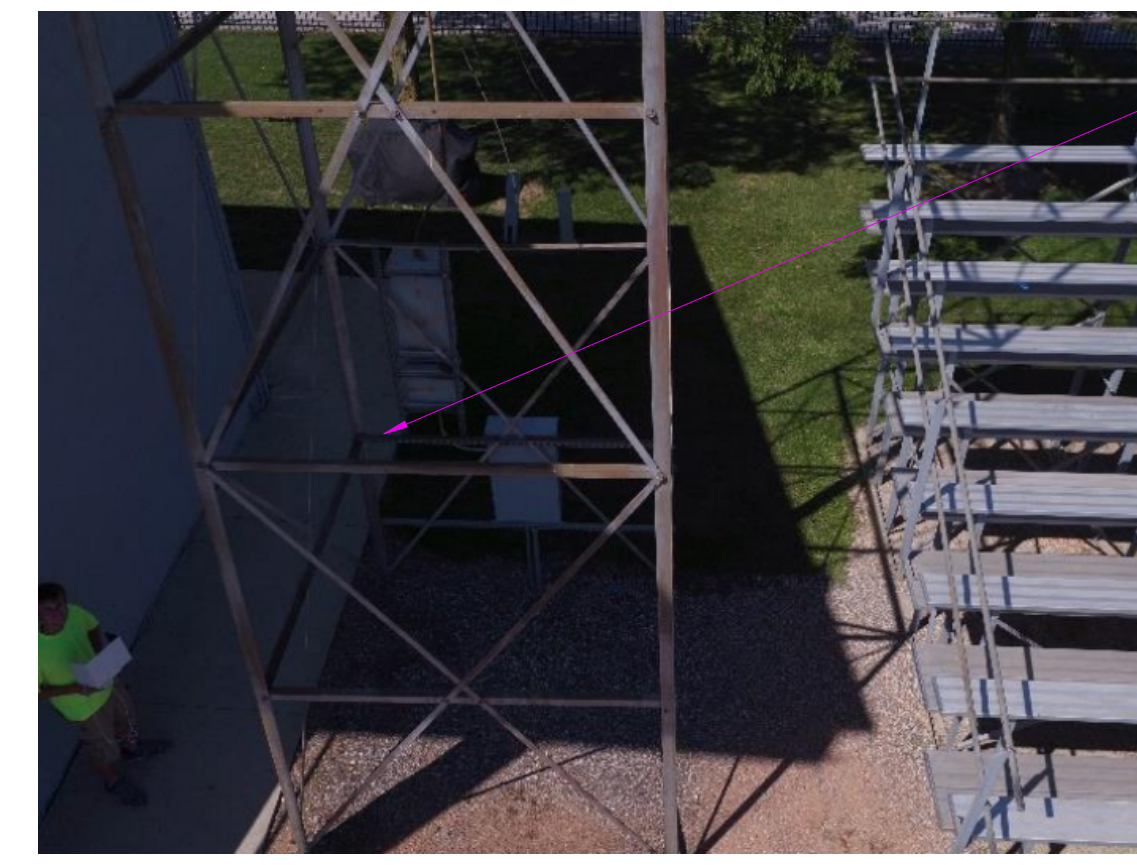
**A6** CONCRETE LANDING DETAIL  
1" = 1'-0"



**A4** LIGHT TOWER PLAN VIEW  
NOT TO SCALE

**LIGHT TOWER PLAN NOTES**

1. ALL LIGHT TOWERS TO BE CLEANED OF EXISTING RUST AND PREPARED FOR PAINTING. SEE ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS.
2. ALL NEW STEEL MEMBERS TO MATCH SIZE AND SHAPE OF EXISTING MEMBER. ALL NEW STEEL TO BE HOT-DIP GALVANIZED.
3. ALL NEW BOLTS TO BE TYPE 304 STAINLESS-STEEL AND TO MATCH SIZE OF EXISTING BOLT HOLES.



REPLACE MISSING BOLT ON FIRST HORIZONTAL BRACE, NE CORNER

**E2** TOWER 1  
NOT TO SCALE



REPLACE SECOND HORIZONTAL BRACE UP FROM GROUND ON EAST SIDE



REPLACE FIRST HORIZONTAL BRACE UP FROM THE GROUND ON WEST SIDE

**E4** TOWER 2  
NOT TO SCALE



REPLACE SECOND HORIZONTAL BRACE UP FROM GROUND ON WEST SIDE

**G3** TOWER 6  
NOT TO SCALE



REPLACE MISSING BOLT ATTACHING VERTICAL STRAPS TO THE LEG, LOCATED AT 4TH HORIZONTAL BRACE FROM GROUND



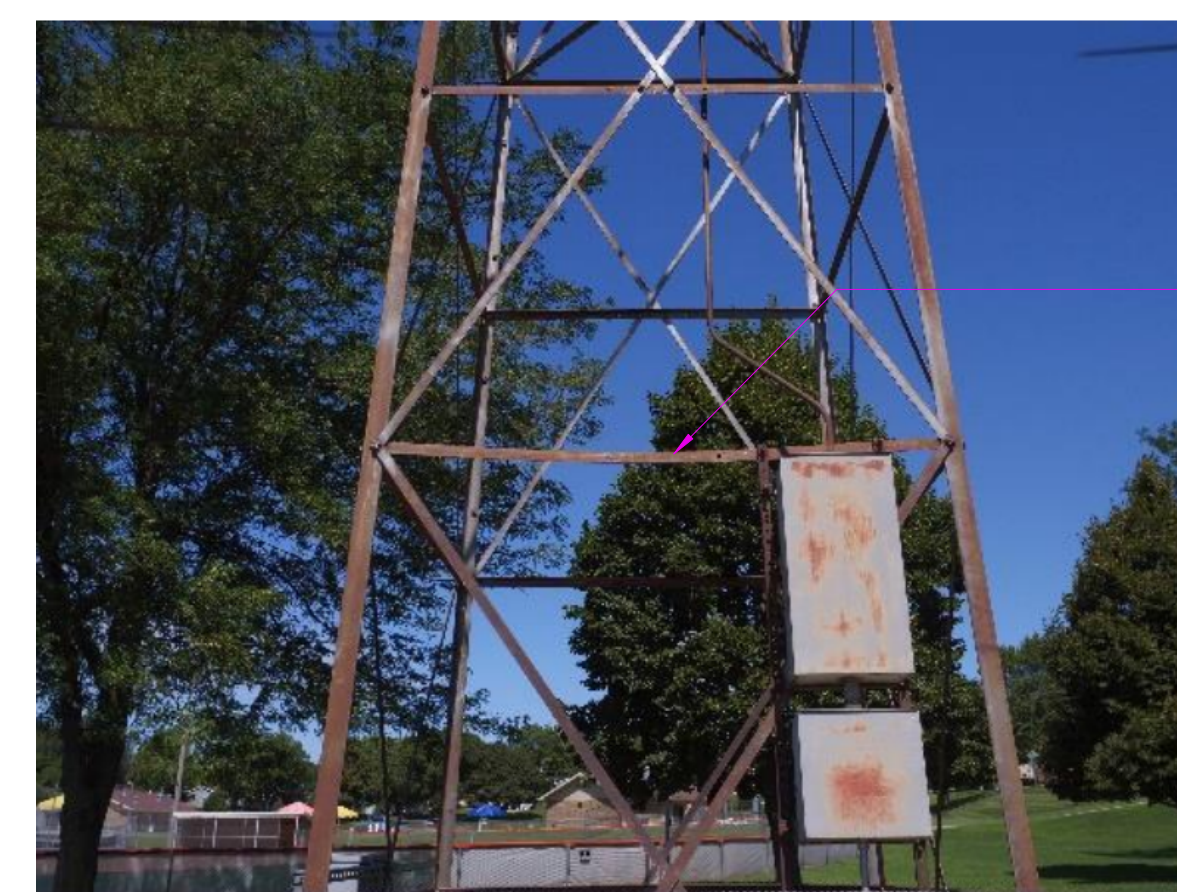
REPLACE HORIZONTAL ON SOUTH SIDE

**G4** TOWER 8  
NOT TO SCALE



REPLACE HORIZONTAL BRACE ON WEST SIDE OF TOWER

**E5** TOWER 3  
NOT TO SCALE



REPLACE SECOND HORIZONTAL BRACE FROM GROUND ON SOUTH SIDE OF TOWER

**E6** TOWER 4  
NOT TO SCALE

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APPROVED BY	KEH
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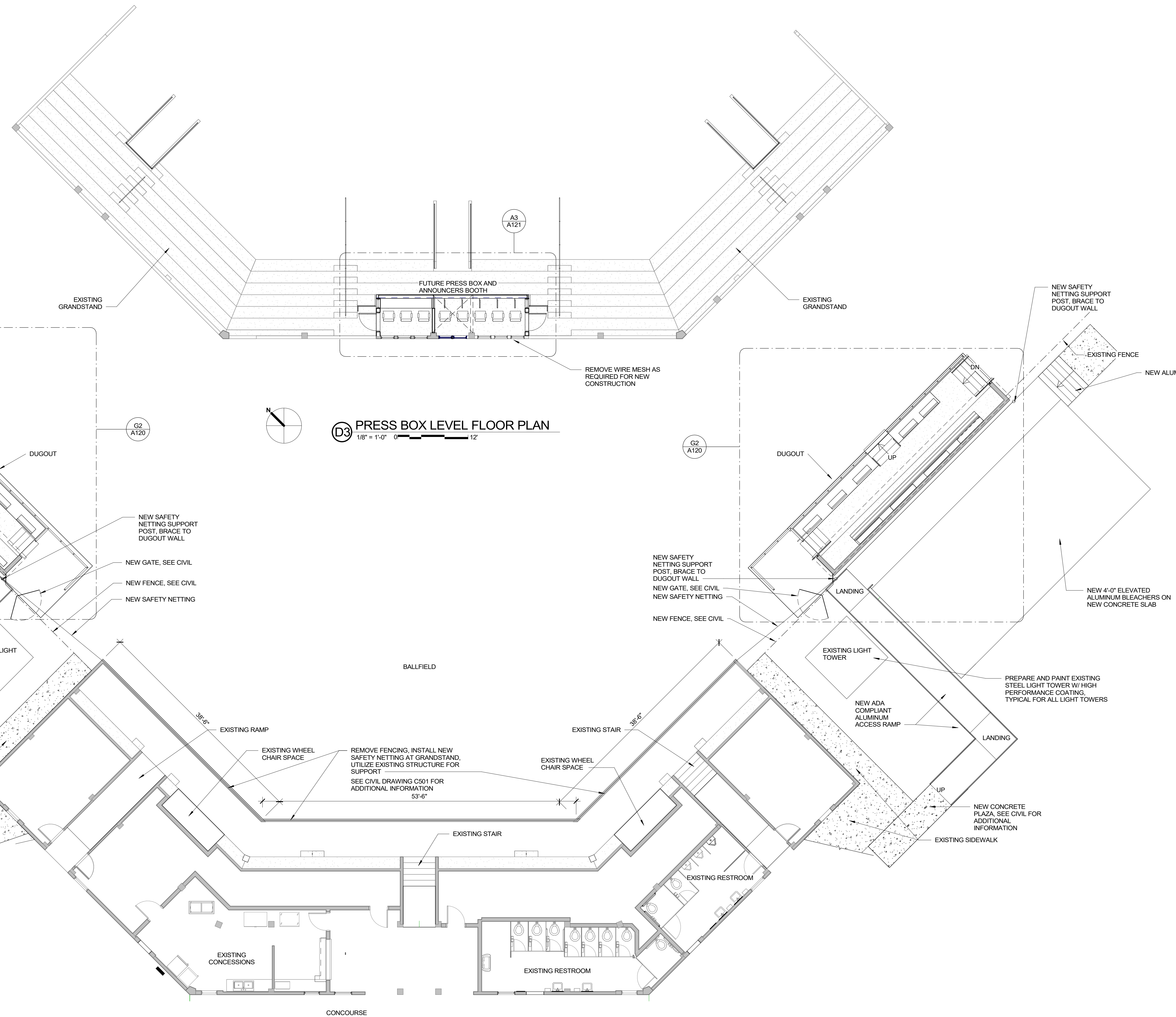
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**A2 SAFETY NETTING ANCHORING**  
NOT TO SCALE



**A3 BLEACHER**  
NOT TO SCALE



**D3 PRESS BOX LEVEL FLOOR PLAN**  
1/8" = 1'-0" 0 12'

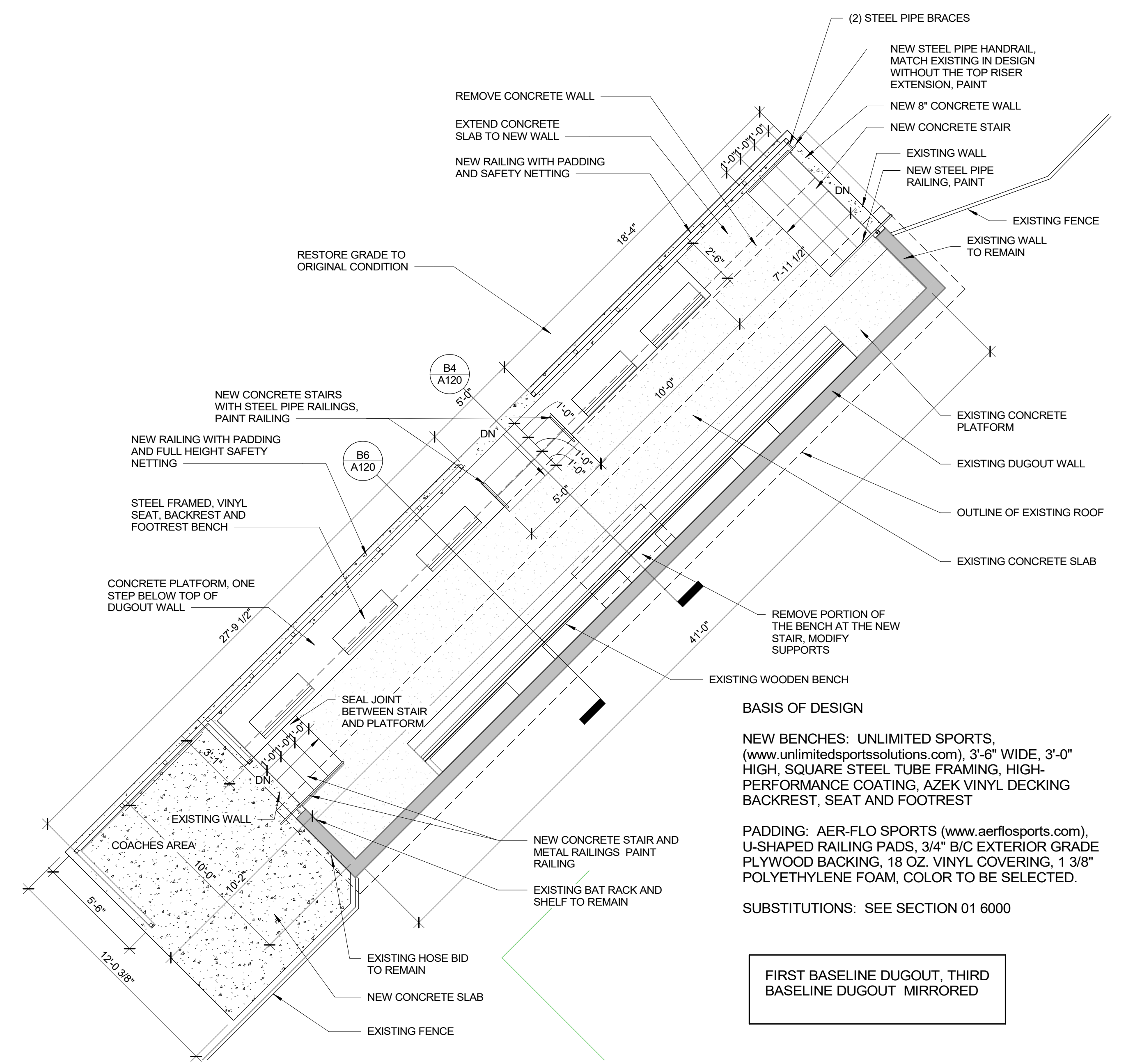
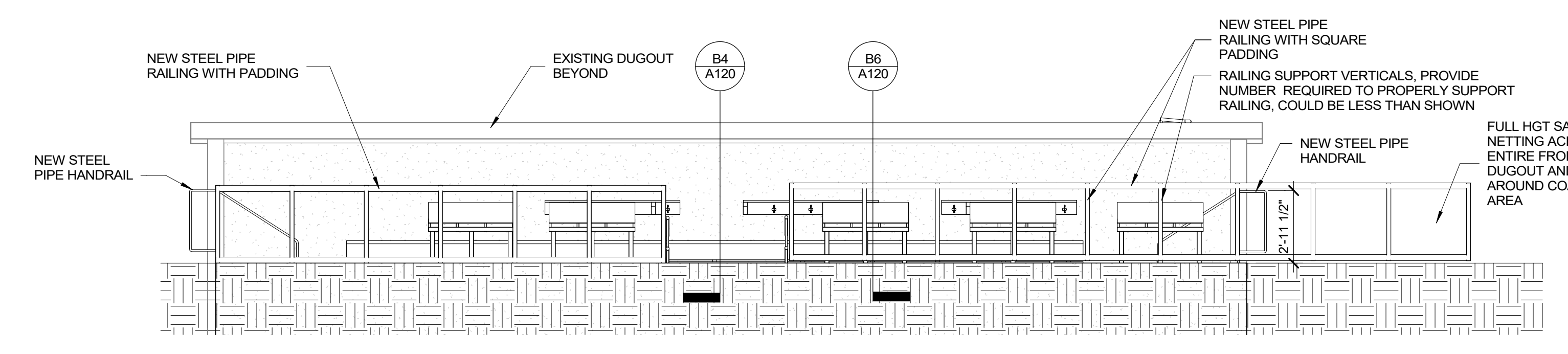
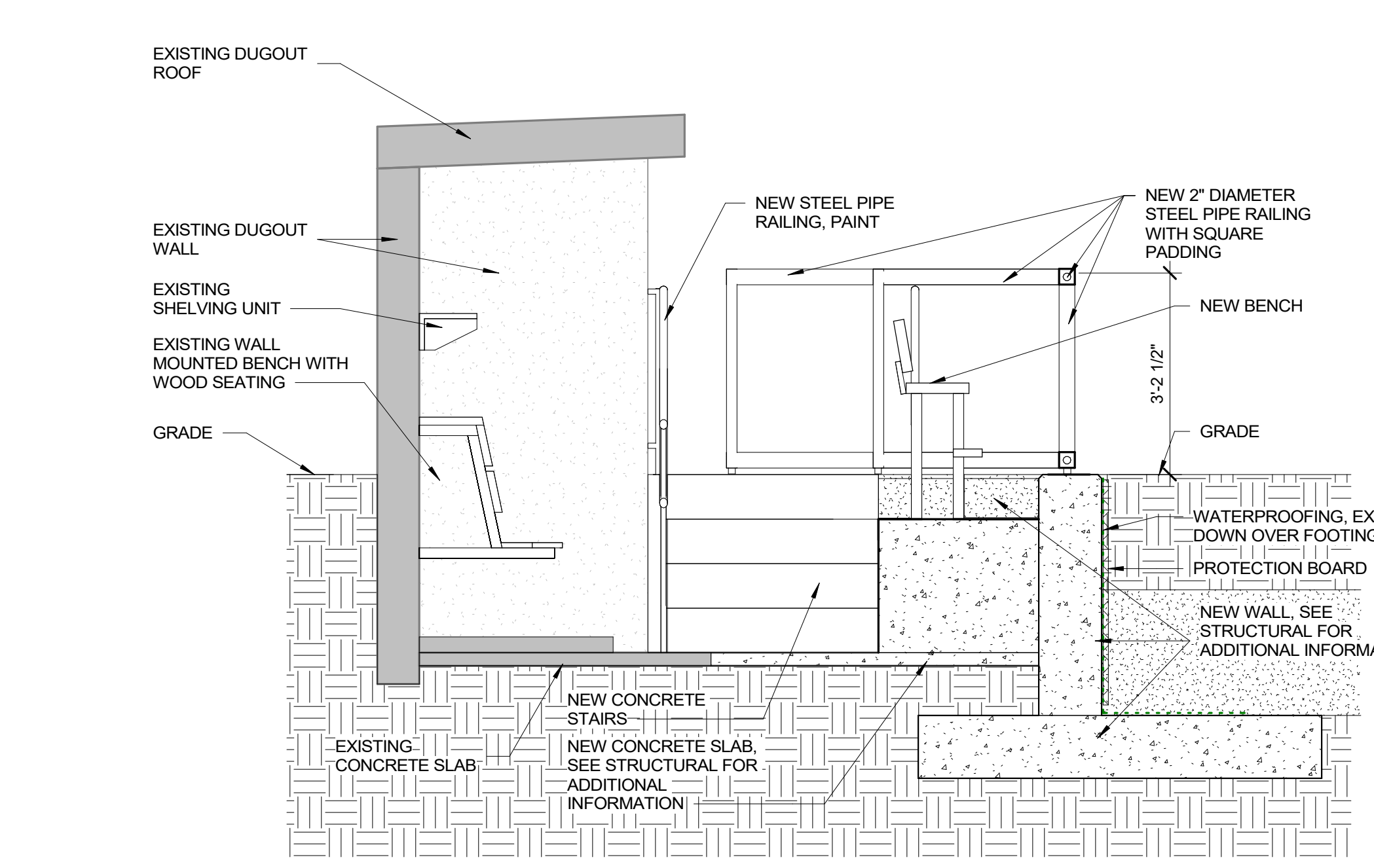
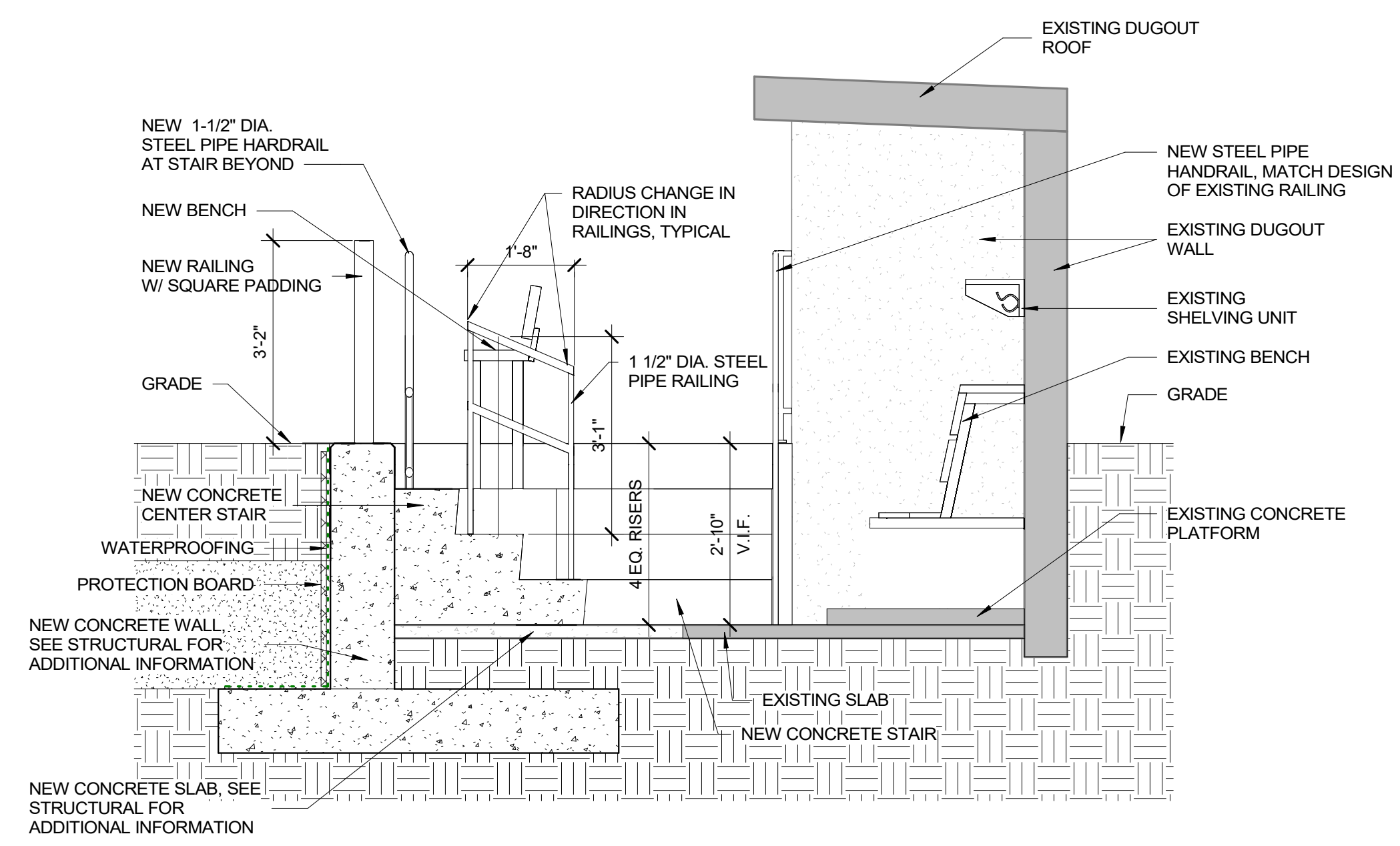
**E0 FIRST FLOOR PLAN**  
1/8" = 1'-0" 0 12'

Autodesk® AutoCAD® 2024.0.0.0 City of Carroll  
 Microsoft® Project 2024.0.0.0  
 Microsoft® Word 2024.0.0.0  
 Revit Version



- BLEACHER
- EXISTING ROOF STRUCTURE TO REMAIN
- BENCH TO REMAIN
- REMOVE HANDRAIL
- EXISTING HOSE BIB AND WATERLINE TO REMAIN
- REMOVE SPLASH-BLOCK
- REMOVE CONCRETE STAIR, BOTH ENDS
- REMOVE RAILING
- REMOVE WALL

**G2 DUGOUT**  
NOT TO SCALE



**BASIS OF DESIGN**

NEW BENCHES: UNLIMITED SPORTS, (www.unlimitedsportsolutions.com), 3'-6" WIDE, 3'-0" HIGH, SQUARE STEEL TUBE FRAMING, HIGH-PERFORMANCE COATING, AZEK VINYL DECKING BACKREST, SEAT AND FOOTREST

PADDING: AER-FLO SPORTS (www.aerflosports.com), U-SHAPED RAILING PADS, 3/4" B/C EXTERIOR GRADE PLYWOOD BACKING, 18 OZ. VINYL COVERING, 1 3/8" POLYETHYLENE FOAM, COLOR TO BE SELECTED.

SUBSTITUTIONS: SEE SECTION 01 6000

FIRST BASELINE DUGOUT, THIRD BASELINE DUGOUT MIRRORED

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 Revit Version



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**A2 PRESS AREA**  
NOT TO SCALE

EXISTING CANOPY STRUCTURE AND DECKING TO REMAIN  
REMOVE BOOTH IN ITS ENTIRETY  
REMOVE BENCHES FOR NEW CONSTRUCTION  
REMOVE COUNTER AND SUPPORTS  
EXISTING RAILING  
EXISTING AREA WELL WALL  
EXISTING BENCH TO REMAIN  
REMOVE BENCH AND RELOCATE  
ANNOUNCERS BOOTH TO BE REMOVED  
MODIFY EXISTING BENCH FOR NEW BOOTH AND PRESS BOX  
MODIFY EXISTING BENCH FOR NEW COUNTER  
REMOVE WALL OF BOOTH DOWN TO RISERS  
REMOVE COUNTER AND SUPPORTS  
MODIFY ELECTRICAL FOR NEW COUNTER  
REMOVE COUNTER, SALVAGE SUPPORTS FOR NEW COUNTER  
EXISTING BENCH TO REMAIN

**A3 PRESS AREA DETAIL**  
NOT TO SCALE

REMOVE COUNTER AND SUPPORTS  
SALVAGE SUPPORTS FOR USE ON NEW COUNTER  
EXISTING BENCH TO REMAIN  
INSTALL RELOCATED BENCH AT REMOVED COUNTER LOCATIONS, MODIFY LENGTH  
EXISTING CONCRETE RISERS AND STEPS TO REMAIN

**A4 THROUGH PRESS OVERFLOW COUNTER**  
1" = 1'-0"

ELECTRICAL PLUG STRIP  
NEW SOLID SURFACE COUNTER AND BACKSPASH ON 3/4" PLYWOOD SUBSTRATE  
PAINT EXPOSED PORTIONS OF SUBSTRATE  
EXISTING BENCH TO REMAIN  
EXISTING RISER  
BACKSPASH W/ SOLID SURFACE ON BOTH SIDES  
SOLID SURFACE ON UNDERSIDE AT AREA WELL  
MODIFY EXISTING COUNTER SUPPORT BRACKET, PAINT, ANCHOR TO EXISTING WALL  
EXISTING WALL  
EXISTING BRACKET

**A6 PRESS BOX/ANNOUNCER COUNTER**  
1" = 1'-0"

1/2" EXPANSION JOINT W/ SEALANT  
NEW CONCRETE SLAB  
R 10 113'-0"

**F1 WINDOW DETAIL**  
3" = 1'-0"

1/2" TEMPERED GLAZING SET IN ALUMINUM TRACK AT SILL AND HEAD  
CMU WALL BELOW  
SEALANT JOINT  
2"x4" ALUMINUM TUBE, ANCHORED TO CMU AT SILL AND LINTEL AT HEAD  
OPERABLE ALUMINUM WINDOW (EFCO 660)

**H1 CENTER WINDOW DETAIL**  
3" = 1'-0"

1/2" TEMPERED GLAZING SET IN ALUMINUM TRACK AT SILL AND HEAD  
CMU WALL BELOW  
SEALANT JOINT  
NEOPRENE GASKET MATERIAL  
COLD-FORMED FRAMING DOUBLE STUD  
3/4" PLYWOOD SHEATHING  
PRE-FINISHED SHEET METAL ENCLOSURE  
SEALANT  
OPERABLE ALUMINUM WINDOW (EFCO 660)

**F2 SECTION THRU PRESS BOX**  
1/4" = 1'-0"

ELECTRICAL OUTLET STRIP ABOVE COUNTER  
SOLID SURFACE COUNTER  
6" COLD-FORMED FRAMING @ 16" O.C.  
3/4" PLYWOOD SHEATHING BOTH SIDE  
WEATHER BARRIER  
METAL SIDING  
BATT INSULATION  
PLYWOOD, PAINT  
BOND BEAM LINTEL  
HOLLOW METAL DOOR AND FRAME  
STEEL PIPE RAILING  
METAL COUNTER BRACKETS  
CMU PAINT

**D3 EXTERIOR WINDOWS**  
NOT TO SCALE

REMOVE MESH AS NEEDED FOR INSTALLATION OF NEW WINDOWS AND WALL  
EXISTING WALL  
EXISTING WINDOWS TO REMAIN  
REMOVE MESH AS NEEDED FOR INSTALLATION OF NEW WINDOWS AND WALL

**C6 SECTION THRU PRESS BOX**  
1/2" = 1'-0"

EXISTING ROOF  
PANEL JOINT  
METAL SIDING  
VAPOR BARRIER  
3/4" PLYWOOD SHEATHING  
PAINT UNDERSIDE OF ROOF DECK AND EXPOSED STRUCTURE  
6" COLD-FORMED FRAMING @ 16" O.C.  
3 1/2" BATT INSULATION  
3/4" PLYWOOD SHEATHING, PAINT  
STEEL STUD LINTEL  
ALUMINUM OPERABLE WINDOW BEYOND  
NEW 6" CMU WALL WITH CEMENTIOUS PLASTER, PAINT  
SEAL JOINT  
NEW HOLLOW METAL DOOR AND FRAME  
NEW CONCRETE SLAB  
NEW EPS FOAM BLOCKS  
EXISTING RISER

**F4 ELEVATION OF PRESS BOX**  
1/4" = 1'-0"

EXISTING RAILING  
EXISTING BENCH  
NEW SOLID SURFACE COUNTER  
RELOCATED BENCH  
NEW OPERABLE ALUMINUM WINDOW  
NEW 36" HIGH STEEL PIPE RAILING, PAINT  
NEW CONCRETE LANDING  
REMOVE PORTION AND MODIFY EXISTING MESH AT NEW WALL  
NEW OPERABLE WINDOW  
NEW FIXED WINDOW MATCH HEIGHT OF EXISTING OPENING  
NEW FIXED WINDOW  
NEW CONCRETE SLAB W/ SEALED FINISH  
NEW FIXED MASONRY PIERS, COAT WITH CEMENTIOUS PLASTER, PAINT, TYPICAL FOR (4) LOCATIONS  
EXISTING OPERABLE WINDOW TO REMAIN

**WALL TYPES:**

- 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES. EXTEND WALL FROM FLOOR TO UNDERSIDE OF EXISTING ROOF-DECK ABOVE. FILL STUD CAVITY SPACE WITH 3 1/2" BATT INSULATION. INSTALL 4" RUBBER BASE ON BOTH SIDES OF WALL.
- 6" CONCRETE MASONRY FROM FLOOR TO 8'-0" ABOVE FLOOR LEVEL - FROM TOP OF WALL TO EXISTING ROOF-DECK. 6" X 6" COLD-FORMED FRAMING STUDS @ 16" O.C. WITH EXTERIOR GRADE 5/8" PLYWOOD SHEATHING ON BOTH SIDES. EXTERIOR FACE TO BE CLADDED WITH EXPOSED FASTENER METAL WALL PANELS OVER WEATHER BARRIER. FILL STUD SPACE W/ 6" BATT INSULATION.

**ELECTRICAL REQUIREMENTS:**  
PROVIDE (4) ELECTRICAL CIRCUITS TO THE PRESS BOX, ANNOUNCERS BOOTH AND OVERFLOW PRESS AREAS

**SOUND EQUIPMENT:**  
OWNER TO PROVIDE SOUND EQUIPMENT IN PRESS BOX. CONTRACTOR TO PROVIDE ELECTRICAL POWER TO EQUIPMENT.

**EQUIPMENT INCLUDES:**  
RETURN GLAZING TO TUBE  
2" x 4" ALUMINUM TUBE, ALIGN WITH WINDOW FRAME  
RELOCATED BENCH, REVERSE BRACKETS  
NEW OPERABLE ALUMINUM WINDOW  
NEW 36" HIGH STEEL PIPE RAILING, PAINT  
NEW 3'-0" X 7'-0" FLUSH AND INSULATED HOLLOW METAL DOOR, HOLLOW METAL FRAME WITH 4" HEAD, PAINT, HG-1

**HARDWARE GROUP:**  
HG-1 - LOCKSET  
DEADBOLT  
(3) BUTT HINGLES  
LATCH PROTECTION  
OVERHEAD STORAGE OPEN WEATHERSEALS  
EXISTING CONCRETE BLEACHER

**E6 ENLARGED PLAN - ANNOUNCERS BOOTH/PRESS BOX**  
1/4" = 1'-0"

A

B

C

D

E

F

G

H

ELECTRICAL SYMBOLS LEGEND

Table with columns: GENERAL, POWER, COMMUNICATION/DATA, FIRE ALARM, SECURITY, NURSE CALL, GROUNDING. Includes symbols and descriptions for various electrical components.

GENERAL ELECTRICAL NOTES

- 1. ALL WORK SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE - LATEST EDITION ADOPTED BY THE STATE... 2. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY WITH THE APPLICABLE CODES... 3. CONTRACTOR SHALL PROVIDE ALL WORK NECESSARY INCLUDING LABOR, MATERIALS, PERMITS, TAXES, FEES, INSPECTIONS, HARDWARE, AND COST FOR INSTALLATION FOR A COMPLETE AND OPERATIONAL SYSTEM...

ELECTRICAL ABBREVIATIONS

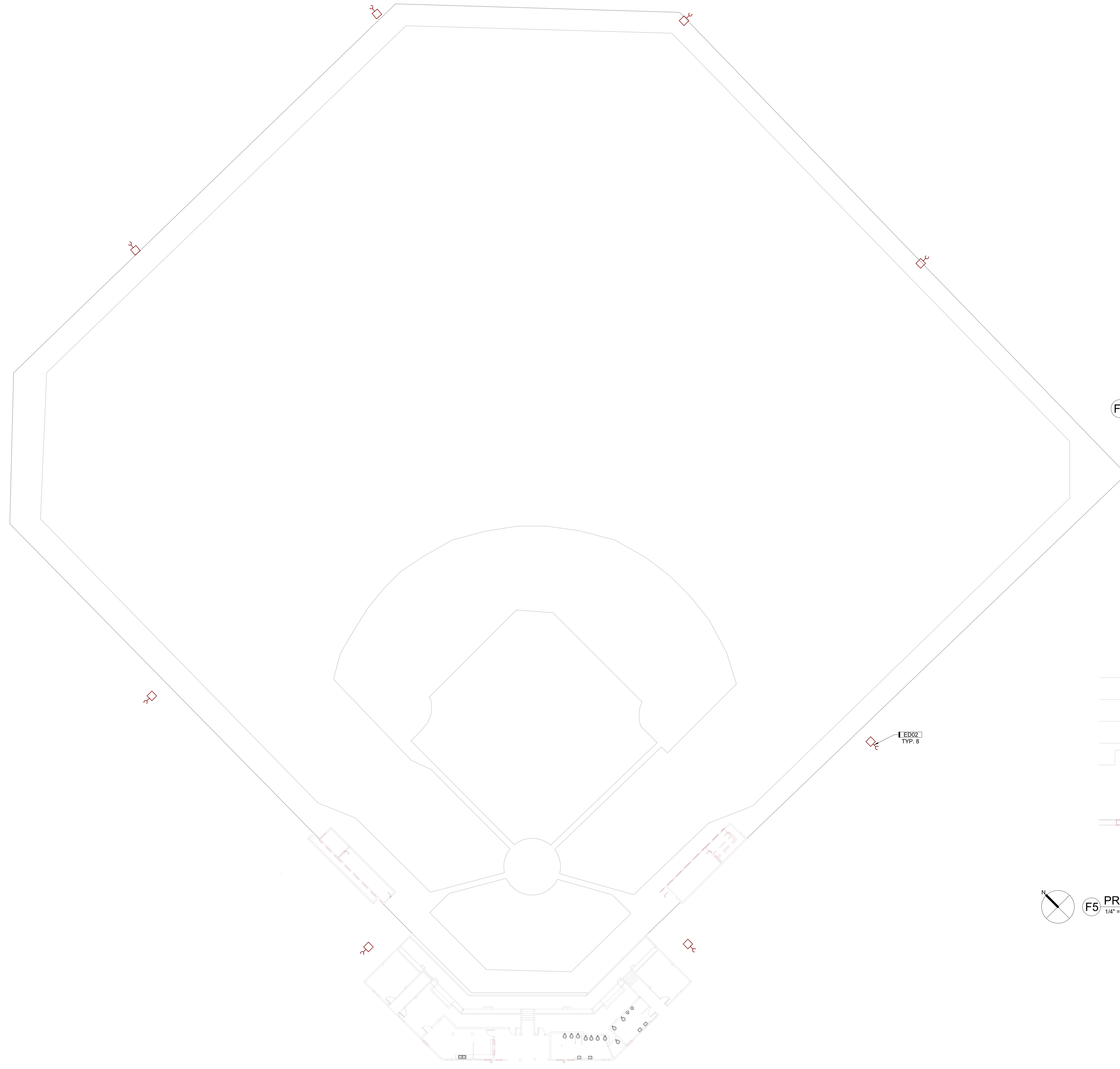
Table listing electrical abbreviations and their corresponding descriptions, organized into columns A through S.

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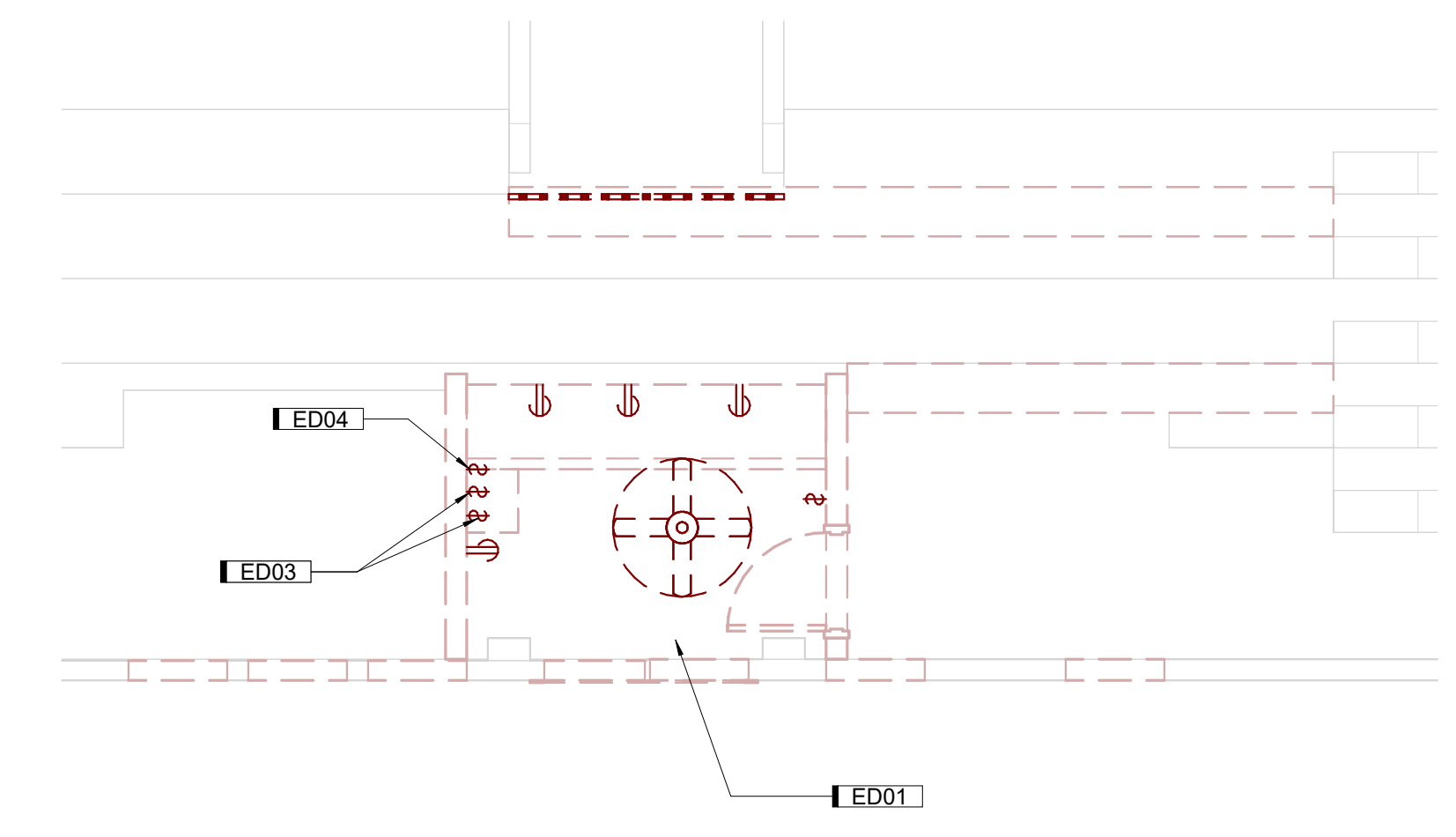
RENOVATIONS AT MERCHANTS PARK PRESS BOX AND FIELD LIGHTING CITY OF CARROLL, IA 116 N. CARROLL, IA

Table with project information including PWD, ES, CONSTRUCTION DOCUMENTS, ISSUED FOR, DATE, PROJECT NUMBER, FIELD BOOK.

KEYNOTES	
KEY	NOTE
ED01	NOT ALL ELECTRICAL EQUIPMENT HAS BEEN FIELD VERIFIED. REMOVE ALL ELECTRICAL EQUIPMENT AND DEVICES IN EXISTING PRESS BOX.
ED02	REMOVE ALL ELECTRICAL FIXTURES FROM LIGHT TOWER STRUCTURES.
ED03	REMOVE SWITCH TO POLE LIGHTS. KEEP CONDUIT AND WIRE FOR NEW SWITCH.
ED04	REMOVE SWITCH TO SCOREBOARD. KEEP CONDUIT AND WIRE FOR NEW SWITCH.



**F3** EXISTING POLE TOP ASSEMBLY  
3/4" = 1'-0" 0" 1/2"



**F5** PRESS BOX - ELECTRICAL DEMOLITION PLAN  
1/4" = 1'-0" 0" 6"

**A6** OVERALL SITE - ELECTRICAL DEMOLITION PLAN  
1" = 20'-0" 0" 30"

**RENOVATIONS AT MERCHANTS PARK  
PRESS BOX AND FIELD LIGHTING**

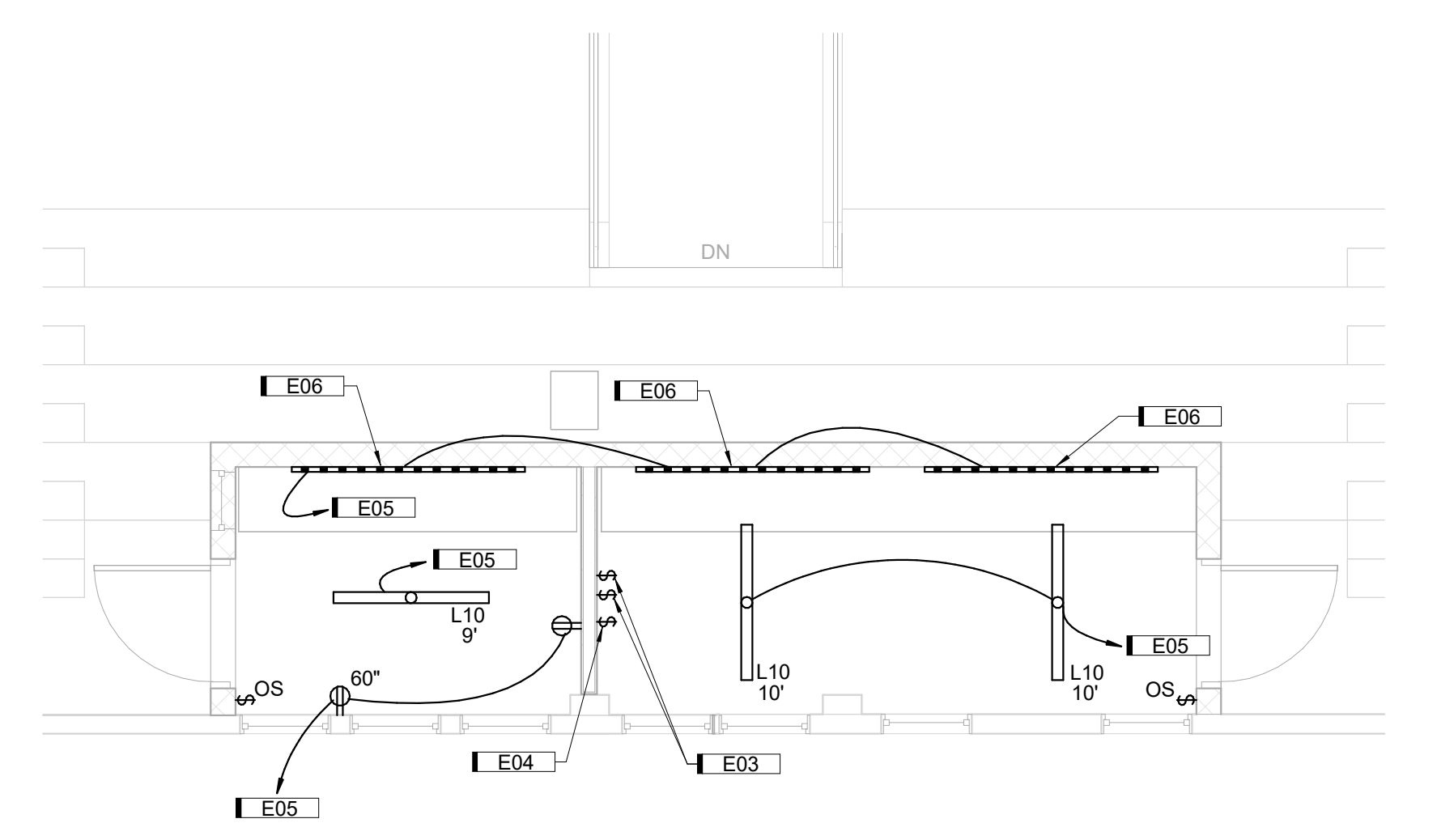
CITY OF CARROLL, IA  
VINE ST., CARROLL, IA

PROJECT NUMBER	2142302790
ISSUE DATE	04/10/2024
ISSUED FOR	CONSTRUCTION DOCUMENTS
APPROVED BY	ES
DRAWN BY	PJD
FIELD BOOK	Field Book

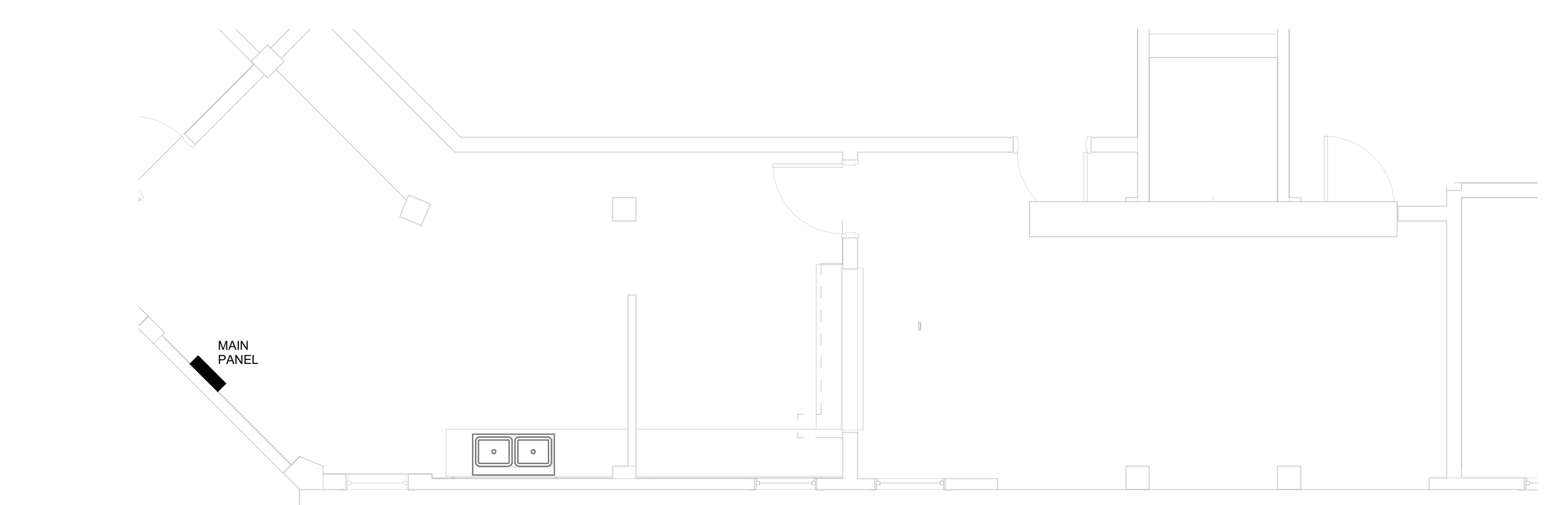
Autodesk® AutoCAD 2022  
Autodesk® Revit 2022

BRANCH PANEL NAME	VOLTAGE	PHASE	WIRE	BUS SIZE	MAIN OCP	AIC RATING							
<b>MAIN PANEL</b>	<b>240/120 Single</b>	<b>1</b>	<b>3</b>	<b>400 AMPS</b>	<b>200 A</b>	<b>10,000 AMPS SYMMETRICAL</b>							
CODE: L-LIGHTING, R-RECEPTACLES, E-EQUIPMENT, K-KITCHEN						MOUNTING: SURFACE							
ROOM:						ENCLOSURE: NEMA 1							
FED FROM:						FEED:							
EXISTING PANEL													
LOAD	CODE	NOTE	POLE	BKR	DCT#	A KVA	B KVA	DCT#	BKR	POLE	NOTE	CODE	LOAD
PRESS BOX	--	--	1	20 A	1	0.0/0.0		2	20 A	2	--	--	SPARE
PRESS BOX	--	--	1	20 A	3	0.0/0.0		4	20 A	1	--	--	
SPARE	--	--	2	80 A	5	0.0/0.0		6	20 A	1	--	--	REC. RR/STORAGE
					7	0.0/0.0		8	20 A	1	--	--	EXISTING CIRCUIT
SPARE	--	--	2	80 A	9	0.0/0.0		10	20 A	1	--	--	REC. STORAGE
					11	0.0/0.0		12	20 A	1	--	--	LTS. STORAGE/RR
WATTSTOPPER PANEL	--	--	1	20 A	13	0.0/0.0		14	20 A	1	--	--	REC. MICROWAVE
PRESS BOX	--	--	1	20 A	15	0.0/0.0		16	20 A	1	--	--	EXISTING CIRCUIT
REC. CONCESSIONS	--	--	1	20 A	17	0.0/0.0		18	20 A	1	--	--	REC. FRIDGE
REC. KITCHEN EQUIP	--	--	1	20 A	19	0.0/0.0		20	20 A	1	--	--	REC. KITCHEN EQUIP
REC. KITCHEN EQUIP	--	--	1	20 A	21	0.0/0.0		22	20 A	1	--	--	REC. FREEZER
REC. KITCHEN EQUIP	--	--	1	20 A	23	0.0/0.0		24	20 A	1	--	--	REC. KITCHEN EQUIP
ELECTRIC WATER HEATER	--	--	2	50 A	25	0.0/0.0		26	20 A	1	--	--	LTS. RR/STORAGE/CONCE
					27	0.0/0.0		28	20 A	1	--	--	LTS. BUILDING EXTERIOR
LTS. GRANDSTAND	--	--	1	20 A	29	0.0/0.0		30	20 A	1	--	--	REC. CONCESSIONS
REC. CONCESSIONS	--	--	1	20 A	31	0.0/0.0		32	20 A	1	--	--	EXHAUST FAN
REC. OUTDOORS	--	--	1	20 A	33	0.0/0.0		34	20 A	1	--	--	TICKET BOOTH OUTLETS
					35	0.0/0.0		36	20 A	1	--	--	TICKET BOOTH LIGHT AND FAN
NORTH OUTLET ON FENCE	--	--	2	50 A	37	0.0/0.0		38	20 A	1	--	--	NORTH OUTLET ON FENCE
					39	0.0/0.0		40	20 A	1	--	--	SOUTH OUTLET ON FENCE
SOUTH OUTLET ON FENCE	--	--	2	50 A	41	0.0/0.0		42	--	--	--	--	SPACE
<b>TOTAL LOAD:</b>						0.0 VA	0.0 VA						
<b>TOTAL AMPS:</b>						0.0 A	0.0 A						
LOAD CLASSIFICATION	CONNECTED LOAD (VA)	DEMAND FACTOR	ESTIMATED DEMAND (VA)	PANEL TOTALS									
				CONNECTED LOAD: 0.0 VA									
				ESTIMATED DEMAND: 0.0 VA									
				CONNECTED CURRENT: 0.0 A									
				ESTIMATED DEMAND CURRENT: 0.0 A									
NOTES:													

LIGHTING FIXTURE SCHEDULE										
CATALOG NUMBER SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBER ONLY. THE DESCRIPTION AND THE SPECIFICATIONS SHALL BE COORDINATED WITH THE CATALOG NUMBER TO DETERMINE THE EXACT MATERIAL AND ACCESSORIES TO BE ORDERED. THE FIRST MANUFACTURER LISTED IS THE BASIS FOR DESIGN. ALL LAMPS/LIGHT SOURCES FOR THIS PROJECT SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL LIGHT FIXTURES SHALL BE PROVIDED WITH INTEGRAL DISCONNECT(S) FACTORY INSTALLED IN ACCORDANCE WITH NEC. REFER TO SPECIFICATIONS FOR SHOP DRAWING SUBMITTAL REQUIREMENTS AND ADDITIONAL...										
MOUNTING STYLES (MTG): RE-A = RECESSED (ACT), RE-G = RECESSED (GYP), RE-W = RECESSED (WALL), CL = CEILING SURFACE, PW = PERIMETER WALL, SP = SUSPENDED (AIR-CRAFT CABLE), ST = STEM, WL = WALL, WL-H = WALL HORIZONTAL, WL-V = WALL VERTICAL, UNV = UNIVERSAL, POLE = POLE, UC = UNDER CABINET, TR = TRACK, GND = GROUND										
LED DRIVER TYPES: STND = STANDARD DRIVER, DIM10 = 0-10V 10% DIMMING, DIM1 = 0-10V 1% DIMMING, DIMD = 0-10V DIM TO DARK, STEP = STEP DIMMING, NOND = NON-DIMMING, DALI = DIGITAL ADDRESSABLE LIGHTING INTERFACE, DMX = DIGITAL MULTIPLEX, LUTR = LUTRON H/LUME, POE = POWER OVER ETHERNET, SDIM = STEP DIMMING										
GENERAL NOTES:										
A. WHERE "OR APPROVED EQUIVALENT" IS LISTED IN THE MANUFACTURER COLUMN, FIXTURES MUST BE SUBMITTED AS A SUBSTITUTION FOR APPROVAL PRIOR TO BID SUBMISSION.										
B. LISTED LUMENS ARE DELIVERED LUMENS. PROVIDE FIXTURE WITHIN +/- 5% OF LISTED LUMENS.										
C. LIGHTING PRODUCTS SHALL BE PROVIDED THROUGH THE AUTHORIZED LIGHTING MANUFACTURER'S REPRESENTATIVE RESIDING WITHIN PROJECT LOCATION.										
D. SUBMITTALS SHALL BE PRODUCED AND SUBMITTED BY LOCAL AUTHORIZED LIGHTING MANUFACTURER'S REPRESENTATIVE. LETTERHEAD SHALL CONTAIN REPRESENTATIVES' CONTACT INFORMATION, PROJECT NAME, AND PROJECT LOCATION.										
SCHEDULE NOTES:										
1. PROVIDE WITH CROSS-ARM MOUNTING HARDWARE TO ATTACH TO EXISTING TOWER.										
2. PROVIDE WITH INTEGRAL OCCUPANCY AND DAYLIGHTING WIRELESS SENSOR.										
TYPE	DESCRIPTION	LENS/LOUVER	MTG	LIGHTING OUTPUT/CCT	DRIVER	VOLT	WATT	BASIS OF DESIGN	APPROVED EQUIVALENT	NOTES
2S	7-3/4" D X 12-1/4" H X 18-7/8" W, SINGLE HEAD LED SPORTS FIXTURE, OPTIC - NEMA 3, 21.9 BEAM ANGLE, 40.2 FIELD ANGLE	IMPACT RESISTANT GLASS	POLE	LED, 90,000 LUMENS, 5700K	STND	805 W	805 W	NLS NV-F5	COOPER LUMASPORT 8, MUSCO LIGHTING	1
3S	7-3/4" D X 12-1/4" H X 18-7/8" W, SINGLE HEAD LED SPORTS FIXTURE, OPTIC - NEMA 3, 25.4 BEAM ANGLE, 45.7 FIELD ANGLE	IMPACT RESISTANT GLASS	POLE	LED, 90,000 LUMENS, 5700K	STND	805 W	805 W	NLS NV-F5	COOPER LUMASPORT 8, MUSCO LIGHTING	1
4S	7-3/4" D X 12-1/4" H X 18-7/8" W, SINGLE HEAD LED SPORTS FIXTURE, OPTIC - NEMA 4, 36.0 BEAM ANGLE, 64.4 FIELD ANGLE	IMPACT RESISTANT GLASS	POLE	LED, 90,000 LUMENS, 5700K	STND	805 W	805 W	NLS NV-F5	COOPER LUMASPORT 8, MUSCO LIGHTING	1
5S	7-3/4" D X 12-1/4" H X 18-7/8" W, SINGLE HEAD LED SPORTS FIXTURE, OPTIC - NEMA 5, 46.8 BEAM ANGLE, 82.6 FIELD ANGLE	IMPACT RESISTANT GLASS	POLE	LED, 90,000 LUMENS, 5700K	STND	805 W	805 W	NLS NV-F5	COOPER LUMASPORT 8, MUSCO LIGHTING	1
L10	3" W X 4" LONG LED LENSED STRIP, STEEL HOUSING	ACRYLIC SEMI-FROST LENS	SP	LED, 4000 LUMENS, 4000K	DIM10	26 W	26 W	LITHONIA CLX	COLUMBIA MPS, DAY-BRITE FSS, METALUX SNLED	



**C4 PRESS BOX - ELECTRICAL PLAN**  
1/4" = 1'-0" 0' 10' 20' 30' 40'



**B6 FIRST FLOOR - ELECTRICAL PLAN**  
1/4" = 1'-0" 0' 10' 20' 30' 40'

KEYNOTES	
KEY	NOTE
E03	SWITCH TO CONTROL FIELD LIGHTS.
E04	SWITCH TO CONTROL SCOREBOARD.
E05	RE-USE EXISTING CIRCUIT IN SPACE.
E06	PROVIDE AND INSTALL MULTIOUTLET PLUGMOLD, LEGRAND G21G812.

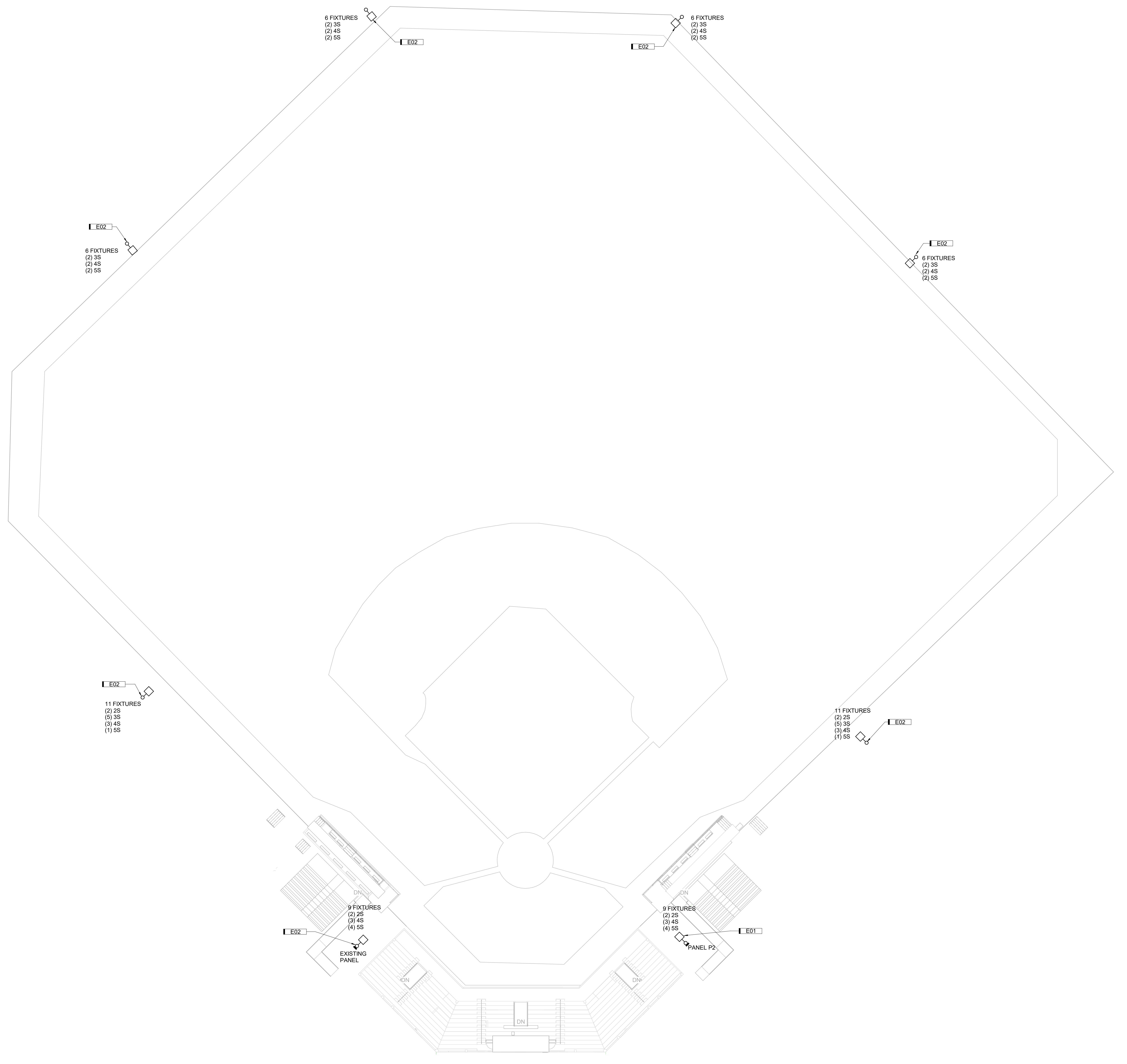
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ARCHITECTURE+ENGINEERING  
4125 WESTOWN PARKWAY, SUITE 100  
WEST DES MOINES, IA 50306  
319.223.8104 | SHIVE-HATTERY.COM

**RENOVATIONS AT MERCHANTS PARK  
PRESS BOX AND FIELD LIGHTING**  
CITY OF CARROLL, IA  
VINE ST., CARROLL, IA

DRAWN BY	PJD
APPROVED BY	ES
ISSUED FOR	CONSTRUCTION DOCUMENTS
ISSUE DATE	04/10/2024
PROJECT NUMBER	2142302790
FIELD BOOK	Field Book

**FIRST FLOOR  
AND PRESS BOX  
ELECTRICAL  
PLAN**  
**E101** Page 76

KEYNOTES	
KEY	NOTE
E01	FURNISH AND INSTALL NEW LIGHTS ON EXISTING TOWERS. CIRCUIT LIGHTS TO (3) EXISTING 30A 2-POLE BREAKERS IN PANEL P2. FIELD LIGHTING TO BE PROVIDED UNDER ALTERNATE #1.
E02	FURNISH AND INSTALL NEW LIGHTS ON EXISTING TOWERS. CIRCUIT LIGHTS TO EXISTING BREAKER.



**A6 OVERALL SITE - ELECTRICAL PLAN**  
1" = 20'-0" 0' 30"

**RENOVATIONS AT MERCHANTS PARK  
PRESS BOX AND FIELD LIGHTING**

CITY OF CARROLL, IA  
VINE ST., CARROLL, IA

PROJECT INFORMATION	DATE	ISSUED FOR	PROJECT NUMBER	FIELD BOOK
CONSTRUCTION DOCUMENTS	04/12/2024		2142302790	Field Book

Autodesk Docu 07/14/2023 09:00 AM  
Autodesk Revit 2022

# City of Carroll

627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** Honorable Mayor and City Council Members

**FROM:** Aaron Kooiker, City Manager *AK*

**DATE:** May 8, 2024

**SUBJECT:** Annexation Request from QRS Investments, L.L.C. and Village Rentals, L.L.C.

- Resolution Approving the Voluntary Annexation of Land

The City of Carroll received the enclosed annexation requests from QRS Investments, L.L.C. and Village Rentals, L.L.C. for the voluntary annexation of approximately eleven acres of land to be annexed into the City of Carroll's city limits. This land proposed for annexation is situated in unincorporated Carroll County west of U.S. Highway 71 N. The legal description of the property is:

Legal Description of property owned by QRS Investments, L.L.C. to be annexed:

Lot 4 of NE ¼ SE ¼ of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

AND

Lot 1 of NE ¼ SE ¼ of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

Legal Description of property owned by Village Rentals, L.L.C. to be annexed:

Lot 2 of NE ¼ SE ¼ and Lot 3 of the SE ¼ SE ¼ all in Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

Please see the enclosed map showing the existing city limits and the area currently proposed for annexation.

This annexation request is considered 100% voluntary annexation, not within an urbanized area of another city per Iowa Code 368.7.2. Iowa Code requires City Council to vote on a resolution considering approval of an annexation request. After Council's consideration of the annexation resolution the City will send its annexation documents as required by Iowa Code 368.7.2.

#### *Analysis:*

When the City Council reviews annexation applications, they review the following topics: Consistency with the Comprehensive Plan, Street and Utility Connectivity, and Outreach.

*Consistency with the City's Comprehensive Plan - Future Land Use Map:*

A comprehensive plan serves as a long-range plan for community improvement, development, and growth. Iowa Code recommends for communities to adopt comprehensive plans, and that these plans should "include information on the amount, type, intensity and density of existing land use, trends in the market price, and plans for future land use throughout the municipality" (Chapter 18B). Said plans serve as policy guide and are intended to be flexible and adaptive over time, setting forth the basic framework to guide activities and manage change.

This site is included in the City's Future Land Use Map as General Industrial.

This annexation application is consistent with the City's Future Land Use Map. The property will need to be rezoned for the proposed future development and will be subject to public notice and action by the Planning and Zoning Commission and City Council.

*Street & Utility Connectivity:*

The requested annexation area has direct access to U.S. Highway 71 N. Sanitary sewer service is currently in place and water service will be extended to the property. The water service extension is currently in the planning phase.

*Outreach:*

As required by Chapter 368.7.2 of the Iowa Code, on April 18, 2024, the City mailed a copy of the annexation applications by certified mail to the Carroll County Board of Supervisors and published notice of the applications in the Carroll Times Herald on April 26, 2024.

**STAFF RECOMMENDATION:** Mayor and City Council consideration and passage of the Resolution Approving the Voluntary Annexation of approximately eleven acres of land described as:

Legal Description of property owned by QRS Investments, L.L.C. to be annexed:

Lot 4 of NE ¼ SE ¼ of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

AND

Lot 1 of NE ¼ SE ¼ of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

Legal Description of property owned by Village Rentals, L.L.C. to be annexed:

Lot 2 of NE ¼ SE ¼ and Lot 3 of the SE ¼ SE ¼ all in Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

**RESOLUTION NO. 24-**

**RESOLUTION APPROVING THE VOLUNTARY ANNEXATION OF LAND ADJACENT TO THE WESTERN BOUNDARY OF THE CITY OF CARROLL INTO THE CORPORATE LIMITS OF THE CITY OF CARROLL**

WHEREAS, there has been presented to the City Council a Petition/Application for annexation, executed by the owner of the following described real estate, namely QRS Investments, L.L.C. and Village Rentals, L.L.C. which lie adjacent to the corporate limits of the City of Carroll, Iowa:

Parcels No. 06-14-400-028, 06-14-400-027, and 06-14-400-004

Lot 4 of NE  $\frac{1}{4}$  SE  $\frac{1}{4}$  of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

AND

Lot 1 of NE  $\frac{1}{4}$  SE  $\frac{1}{4}$  of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

AND

Lot 2 of NE  $\frac{1}{4}$  SE  $\frac{1}{4}$  and Lot 3 of the SE  $\frac{1}{4}$  SE  $\frac{1}{4}$  all in Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

WHEREAS, an annexation area map is attached to this resolution as Exhibit A; and

WHEREAS, the territory included in the Petition/Application contain an approximate total of eleven acres; and

WHEREAS, all mailings of the petitions/applications have been made in a timely manner to the Board of Supervisors, and notice of the petition/applications was published in the Carroll Times Herald on April 26, 2024; and

WHEREAS, it is in the best interest of the City of Carroll that said real estate be annexed, and said annexation is consistent with the City's Comprehensive Plan.

NOW, THEREFORE BE IT RESOLVED that the voluntary annexation referenced herein of the following described real estate is hereby approved and the corporate limits of the City of Carroll, Iowa are extended to include said real estate:



Lot 4 of NE ¼ SE ¼ of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

AND

Lot 1 of NE ¼ SE ¼ of Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

AND

Lot 2 of NE ¼ SE ¼ and Lot 3 of the SE ¼ SE ¼ all in Section 14, Township 84 North, Range 35 West 5th P.M., Carroll County, Iowa, and all adjoining State of Iowa right-of-way lying east of said parcel

BE IT FURTHER RESOLVED, that the City staff is directed and authorized to proceed with submitting this matter for annexation to the Iowa Secretary of State.

Passed and approved by the Carroll City Council this 13th day of May, 2024.

CITY COUNCIL OF THE  
CITY OF CARROLL, IOWA

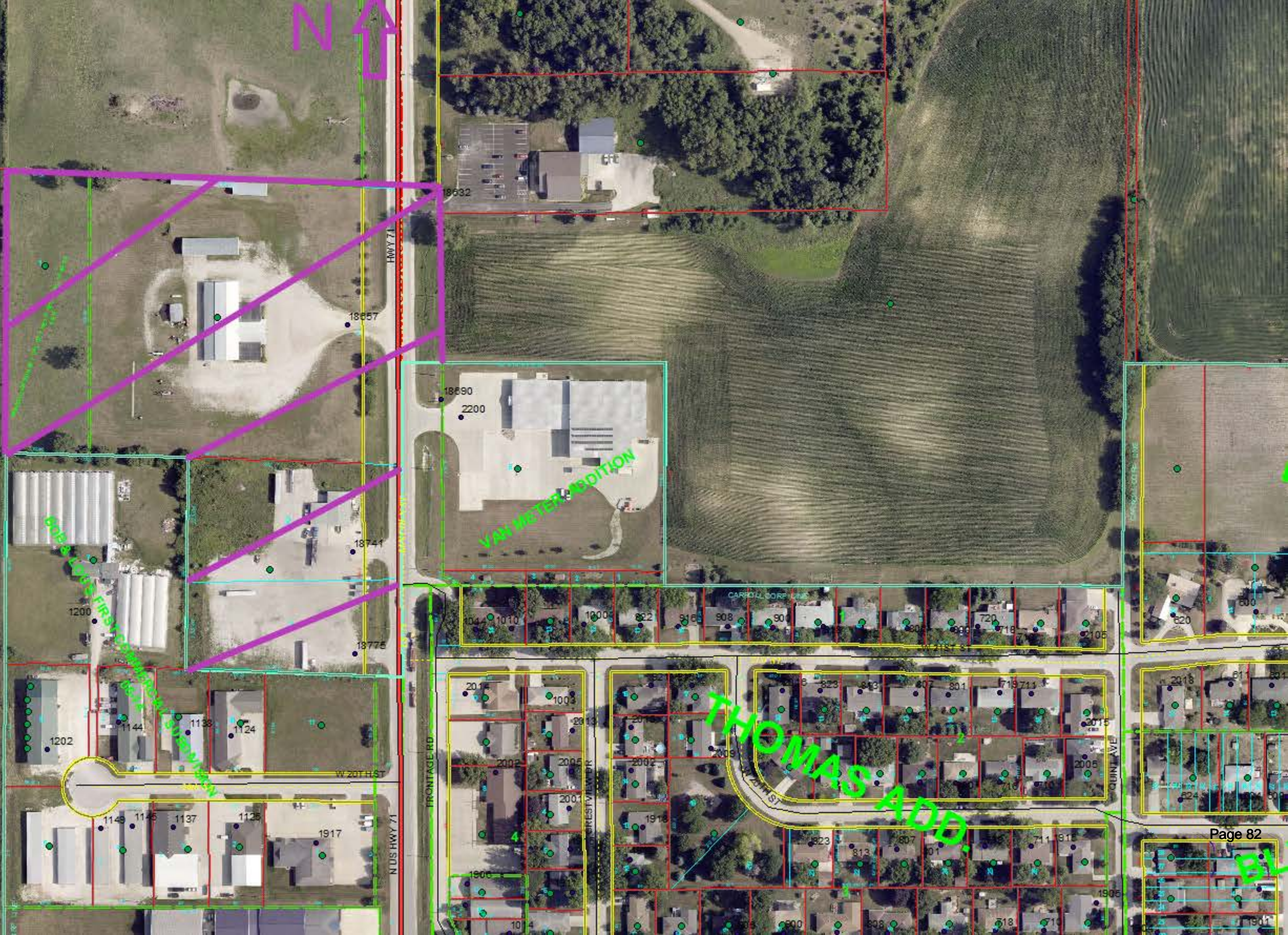
BY: \_\_\_\_\_  
Gerald H. Fleshner, Mayor

ATTEST:

BY: \_\_\_\_\_  
Laura A. Schaefer, City Clerk

ADMISSIONS

N ↑



VAN METERS ADDITION

ROBERT L. AND SUE F. FISHER TRACT

THOMAS ADD

# City of Carroll

627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** Aaron Kooiker, Interim City Manager *AK*  
**FROM:** Laura A. Schaefer, City Clerk/Finance Director *las*  
**DATE:** May 8, 2024  
**SUBJECT:** Echo Urban Renewal Plan and Development Agreement  
• Resolution Approving an Engagement Agreement

Echo Group, Inc. (aka QRS Investments, LLC) is requesting tax increment financing (TIF) rebate assistance from the City to install a watermain from the east side of Highway 71 to their property line on the west side of Highway 71. The cost estimate for this is approximately \$104,000. Echo Group, Inc. is planning to construct a 21,000 square foot commercial building with a covered dock and a 6,000 square foot storage mezzanine at minimum investment of \$4,500,000. Tax increment generated from this property will cover the cost of the watermain in less than five (5) years.

Ahlers and Cooney, P.C. has prepared the attached Engagement Letter for services related to the work to create a new Echo UR Plan and Development Agreement. The agreement provides that Ahlers & Cooney, P.C. will:

1. Prepare the Urban Renewal Plan (“Plan”) in accordance with Iowa Code Chapter 403;
2. Prepare letters of instructions, notices of meetings, and partial agendas for City Council proceedings related to the Plan;
3. Prepare proceedings for a resolution setting the dates of a consultation and public hearing on the Plan;
4. Prepare proceedings to be used on the date fixed for a public hearing and adoption of the Plan;
5. Prepare an ordinance for the division of revenues within the Urban Renewal Area related to the Plan under Iowa Code Section 403.19 (“tax increment financing” or “TIF”), and prepare proceedings for adoption (if necessary);
6. Prepare the Development Agreement, per the terms provided to us by the City;
7. Prepare proceedings to be used for setting the date of a public hearing on the Development Agreement, and proceedings for the date fixed for the public hearing and adoption of the Development Agreement;
8. Answer questions and advise City staff and the Council throughout the adoption process for the Plan and Development Agreement; and
9. Complete a transcript file record to the adoption of the Plan and Development Agreement.

After execution of the Engagement Agreement, City staff will work with Nathan Overberg at Ahlers & Cooney, P.C. to work through this process and bring proceedings for Council action as required.

**RECOMMENDATION:** Mayor and City Council consideration and approval of a resolution approving the Engagement Agreement with Ahlers & Cooney, P.C. for the Echo Urban Renewal Plan and Development Agreement.

RESOLUTION NO. \_\_\_\_\_

RESOLUTION APPROVING AN ENGAGEMENT AGREEMENT WITH AHLERS & COONEY,  
P.C. FOR THE ECHO URBAN RENEWAL PLAN AND DEVELOPMENT AGREEMENT

WHEREAS, Chapter 17, of the Code of Ordinances of the City of Carroll, Iowa, provides that all contracts made by the City be reduced to writing and approved by the City Council by resolution; and

WHEREAS, an engagement agreement with Ahlers & Cooney, P.C. for the Echo Urban Renewal Plan and Development Agreement is attached as Exhibit A.

WHEREAS, it is determined that the approval of the engagement agreement with Ahlers & Cooney, P.C. for the Echo Urban Renewal Plan and Development Agreement is in the best interest of the City of Carroll, Iowa;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Carroll, Iowa, that the engagement agreement with Ahlers & Cooney, P.C. for the Echo Urban Renewal Plan and Development Agreement is approved.

Passed and approved by the Carroll City Council this 13th day of May, 2024.

CITY COUNCIL OF THE  
CITY OF CARROLL, IOWA

By: \_\_\_\_\_  
Gerald H. Fleshner, Mayor

ATTEST:

By: \_\_\_\_\_  
Laura A. Schaefer, City Clerk



**Ahlers & Cooney, P.C.**  
*Attorneys at Law*  
100 Court Avenue, Suite 600  
Des Moines, Iowa 50309-2231  
**Phone:** 515-243-7611  
**Fax:** 515-243-2149  
[www.ahlerslaw.com](http://www.ahlerslaw.com)  
Nathan J. Overberg  
515.246.0329  
[noverberg@ahlerslaw.com](mailto:noverberg@ahlerslaw.com)

May 1, 2024

Sent via email: [akooiker@cityofcarroll.com](mailto:akooiker@cityofcarroll.com)

Aaron Kooiker  
City Manager  
City of Carroll  
112 East 5<sup>th</sup> Street  
Carroll, IA 51401

RE: Engagement Letter - Echo Urban Renewal Plan and Development Agreement

Dear Aaron:

The purpose of this Engagement Agreement (“Agreement”) is to disclose and memorialize the terms and conditions under which Ahlers & Cooney, P.C. will represent the City of Carroll, Iowa (the “City”) in connection with the Echo Urban Renewal Plan (the “Plan”) for the Echo Urban Renewal Area (the “Urban Renewal Area”) and a development agreement with Echo Group in the Urban Renewal Area (the “Development Agreement”), in accordance with Iowa Code Chapter 403.

### **SCOPE OF ENGAGEMENT**

We agree to perform the following services for the fees we charge under this Agreement:

1. Prepare the Urban Renewal Plan (“Plan”) in accordance with Iowa Code Chapter 403;
2. Prepare letters of instructions, notices of meetings, and partial agendas for City Council proceedings related to the Plan;
3. Prepare proceedings for a resolution setting the dates of a consultation and public hearing on the Plan;
4. Prepare proceedings to be used on the date fixed for a public hearing and adoption of the Plan;
5. Prepare an ordinance for the division of revenues within the Urban Renewal Area related to the Plan under Iowa Code Section 403.19 (“tax increment financing” or “TIF”), and prepare proceedings for adoption (if necessary);

6. Prepare the Development Agreement, per the terms provided to us by the City;
7. Prepare proceedings to be used for setting the date of a public hearing on the Development Agreement, and proceedings for the date fixed for the public hearing and adoption of the Development Agreement;
8. Answer questions and advise City staff and the Council throughout the adoption process for the Plan and Development Agreement; and
9. Complete a transcript file record related to the adoption of the Plan and Development Agreement.

Our duties under this Agreement are limited to those expressly set forth above. Absent a separate engagement agreement regarding one or more of the following services, the services provided and the fees charged hereunder do not include:

1. Preparing the legal descriptions to be used in the Plan or Development Agreement;
2. Defending any legal challenges to or arising out of the Plan, any TIF ordinance, or any development agreements thereunder (including the Development Agreement);
3. Confirming or calculating any potential tax increment anticipated within the Urban Renewal Area, or pursuant to a given project, or otherwise acting in a financial advisory role;
4. Administering the Urban Renewal Area or Urban Renewal Plan, any urban renewal projects, the collection of tax increment, or the Development Agreement after the adoption of the Plan and Development Agreement (and after completion of the transcript file on the Plan and Development Agreement); or
5. Any bond (finance) related services.

It is not anticipated that it will be necessary for us to personally attend Council meetings in order to accomplish our work. We will be coordinating our services with you and other City staff, as directed by the City. In the event that public hearings or litigation should occur in the course of this matter, we would expect the same to be handled by the City Attorney, unless special arrangements are made for our participation.

#### **ATTORNEY-CLIENT RELATIONSHIP**

As confirmed by the execution of this Agreement, the City will be our client and an attorney-client relationship will exist between us for purposes of providing the services listed above. Our services are limited to those contracted for in this letter and the City's execution of this Agreement will constitute an acknowledgement of those limitations. The Firm's engagement under this Agreement will end when the Plan and Development Agreement are adopted/approved by the Council and our final invoice has been paid.

## FEES

The attorneys working in the economic development practice area of the firm, including Nathan Overberg and Jenna Sabroske, will be the attorneys chiefly responsible for providing you with these legal services. However, if efficient and appropriate, we may call on other attorneys and legal assistants from time to time. The fees will be based on the hours worked by firm personnel at their hourly rates in effect at the time the work is performed. Mr. Overberg's 2024 hourly rate is \$340 and Ms. Sabroske's rate is \$270. Work performed by other attorneys will be billed at their 2024 hourly rate (from \$200-\$430 per hour). Work by legal assistants will be billed at \$140-\$155 per hour. Our rates are generally adjusted on an annual basis, as of January 1st of each year.

It is difficult to estimate the total cost for the work, because we charge by the hour and there are many variables that impact the number of hours spent on the work. Expenses will be billed at the amount incurred. Our statement for services and expenses will be due and payable upon receipt of the invoice, which in most instances, is monthly. Should you have any questions about a statement or a fee, please do not hesitate to call. We do reserve the right to withdraw from representation for any reason, including failure to pay the monthly statement in accordance with this policy. If, for any reason, the City terminates the engagement governed by this Agreement before the completion of the services described herein, we will bill the City for the services rendered as of the date of termination based on the hourly rates of those who provided services.

## RECORDS

At the City's request, any documents furnished by the City will be returned promptly upon receipt of payment for outstanding fees and client charges. Our own files, including lawyer work product, pertaining to the above referenced project will be retained by us. For various reasons, including the minimization of unnecessary storage expenses, we reserve the right to dispose of any documents or other material retained by us after the termination of this Agreement.

## APPROVAL

Please carefully review the terms and conditions of this Agreement. **If this Agreement accurately reflects the terms of this particular engagement, please obtain approval by the City Council, and execute, date, and return to me the enclosed copy of this Agreement. Please retain the original for your file.**

If you have questions regarding any aspect of the above or our representation, please do not hesitate to contact me. As always, we appreciate the opportunity to represent the City and we look forward to working with you on this project.



Ahlers & Cooney, P.C.

Sincerely,

By:

  
Nathan J. Overberg

Accepted and approved on behalf of the City Council of the City of Carroll, Iowa\*

By: \_\_\_\_\_ Dated: \_\_\_\_\_

Title: \_\_\_\_\_

\*Authorized by action of the governing body, approved on \_\_\_\_\_, 2024.

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# City of Carroll

627 N. Adams Street

Carroll, Iowa 51401

(712) 792-1000

FAX: (712) 792-0139

**MEMO TO:** Aaron Kooiker, City Manager *AK*  
**FROM:** Laura A. Schaefer, Finance Director/City Clerk *lao*  
**DATE:** May 8, 2024  
**SUBJECT:** Set Public Hearing Date for FY 2023-2024 Budget Amendment #2

The budget is a document required by the State of Iowa to ensure proper use of public monies. A budget is prepared well in advance of the actual operations. Many things/projects can occur between the time a budget is adopted and the end of that operating year. The budget document is also the City's guide for tracking revenues and expenditures. State of Iowa prohibits spending more than what has been budgeted. Knowing the budget is a working document and events occur that were not originally planned in the budget, a budget amendment is often required to follow State of Iowa Code.

A summary of the items included in this proposed budget amendment are as follows:

**General Fund** – Fire Department Tower 8 truck repairs, the replacement of Fire Department bunker gear where insurance proceeds were received, Iowa State Extension Housing Assessment, the purchase of and sale of the house at 1114 N Main Street and various transfers into the General Fund.

**Local Option Sales Tax Fund** – Iowa Economic Development Authority (IEDA) Downtown Assessment and a portion of the Region 12 COG Housing Development/Rehab Incentive Contract.

The remaining items included in the proposed budget amendment are transfers from one fund to another to finance various street and water capital projects.

Attached is the notice of public hearing to be published in the newspaper as required by Iowa Code. Also attached is a listing of the items and amounts included in the budget amendment. If you have any questions, please give me a call or stop by City Hall.

**RECOMMENDATION:** Council motion setting Tuesday, May 28, 2024, as the date for a public hearing for the F.Y. 2023/2024 Budget Amendment #2.

# BUDGET AMENDMENT #2 FY 23/24

## GENERAL FUND

Fire Truck Repairs	(7,800)
Fire Dept - bunker gear (ins settlement)	(3,000)
Fire Dept - ins settlement proceeds	3,000
Iowa State Extension Housing Assessment	(5,000)
House purchase	(12,500)
House sale proceeds	12,500
Transfer from Downtown UR Fund	47,500
Transfer from Water Utility Fund	9,650
Transfer from Sewer Utility Fund	9,488
Transfer from Employee Ben SR Fund	26,888

## EMPLOYEE BENEFIT SR FUND

Transfer to General Fund	(26,888)
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## LOCAL OPTION SALES TAX FUND

IEDA Downtown Assessment	(2,500)
Region XII Housing Contract	(60,000)

## DOWNTOWN UR FUND

Transfer to General Fund	(47,500)
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## ASHWOOD UR FUND

Transfer to Debt Service	(130)
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## DEBT SERVICE FUND

Transfer from Ashwood UR Fund	130
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## C.P. STREETS

Transfer from Water Utility Fund	605,000
Transfer from WUF/TIF	1,000,000
Transfer from Sewer Utility Fund	300,000

## WATER UTILITY FUND

Transfer to General Fund	(9,650)
Transfer to C.P. Streets	(605,000)
Transfer to C.P. Streets/TIF	(1,000,000)
Transfer to Water Capital Imp Fund	(300,000)

## WATER UTILITY CAP IMP FUND

Transfer from Water Utility Fund	300,000
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## SEWER UTILITY FUND

Transfer to General Fund	(9,488)
Transfer to C.P.-Streets	(300,000)
Transfer to SU Cap Imp Fund	(251,000)

## SEWER UTILITY CAP. IMP.

Transfer from Sewer Utility Fund	251,000
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**NOTICE OF PUBLIC HEARING - AMENDMENT OF CURRENT BUDGET**

City of CARROLL  
Fiscal Year July 1, 2023 - June 30, 2024

The City of CARROLL will conduct a public hearing for the purpose of amending the current budget for fiscal year ending June 30, 2024

**Meeting Date/Time:** 5/28/2024 05:15 PM

**Contact:** Laura Schaefer

**Phone:** (712) 792-1000

**Meeting Location:** Council Chambers, City Hall, 627 N Adams Street

There will be no increase in taxes. Any residents or taxpayers will be heard for or against the proposed amendment at the time and place specified above. A detailed statement of: additional receipts, cash balances on hand at the close of the preceding fiscal year, and proposed disbursements, both past and anticipated, will be available at the hearing. Budget amendments are subject to protest. If protest petition requirements are met, the State Appeal Board will hold a local hearing. For more information, consult <https://dom.iowa.gov/local-gov-appeals>.

REVENUES & OTHER FINANCING SOURCES		Total Budget as Certified or Last Amended	Current Amendment	Total Budget After Current Amendment
Taxes Levied on Property	1	6,144,192	0	6,144,192
Less: Uncollected Delinquent Taxes - Levy Year	2	0	0	0
Net Current Property Tax	3	6,144,192	0	6,144,192
Delinquent Property Tax Revenue	4	0	0	0
TIF Revenues	5	1,191,478	0	1,191,478
Other City Taxes	6	2,421,860	0	2,421,860
Licenses & Permits	7	75,450	0	75,450
Use of Money & Property	8	220,325	0	220,325
Intergovernmental	9	3,175,426	0	3,175,426
Charges for Service	10	5,834,230	0	5,834,230
Special Assessments	11	0	0	0
Miscellaneous	12	425,800	3,000	428,800
Other Financing Sources	13	700,000	12,500	712,500
Transfers In	14	7,511,603	2,549,656	10,061,259
<b>Total Revenues &amp; Other Sources</b>	15	27,700,364	2,565,156	30,265,520
<b>EXPENDITURES &amp; OTHER FINANCING USES</b>				
Public Safety	16	2,762,319	10,800	2,773,119
Public Works	17	3,031,892	0	3,031,892
Health and Social Services	18	87,240	0	87,240
Culture and Recreation	19	4,343,372	0	4,343,372
Community and Economic Development	20	617,462	67,500	684,962
General Government	21	1,376,091	12,500	1,388,591
Debt Service	22	1,703,840	0	1,703,840
Capital Projects	23	10,646,074	0	10,646,074
Total Government Activities Expenditures	24	24,568,290	90,800	24,659,090
Business Type/Enterprise	25	5,991,427	0	5,991,427
<b>Total Gov Activities &amp; Business Expenditures</b>	26	30,559,717	90,800	30,650,517
Transfers Out	27	7,511,603	2,549,656	10,061,259
<b>Total Expenditures/Transfers Out</b>	28	38,071,320	2,640,456	40,711,776
<b>Excess Revenues &amp; Other Sources Over (Under) Expenditures/Transfers Out</b>	29	-10,370,956	-75,300	-10,446,256
Beginning Fund Balance July 1, 2023	30	31,017,826	0	31,017,826
<b>Ending Fund Balance June 30, 2024</b>	31	20,646,870	-75,300	20,571,570

**Explanation of Changes:** Fire truck repairs, housing and downtown assessments, purchase and sale of house for redevelopment, Region 12 COG housing development/rehab incentive contract and various transfers from one fund to another fund.

Carroll Historic Preservation Commission

City of Carroll

City Hall Board Room

Wednesday, April 10, 2024

Meeting called to order at 5:00 by Vicki Gach. Members present: Vicki Gach, Tim Fitzpatrick, John Steffes, Denis Bormann, Kathy Hansen, Carolyn Siemann. Absent: Karen Friedlein.

Minutes from March 6, 2024, meeting reviewed. Motion to approve minutes by Steffes, second by Bormann. All present voted Aye. Nays: None. Abstain: None. Motion carried 6-0.

Update on Character Walk in Graham Park on June 2, 2024. Vicki has contacted both schools for student actors/actresses and is waiting for a response from them. Fitz reports that Hy-Vee will be grilling hamburgers, hot dogs and chicken breasts along with chips and water for any hungry attendees.

Band Shell fundraising updates: Donor list was handed out for commission members to divide up and visit prospective donors. It was recommended not to secure pledges, rather seek cash donations because it is a short-term project. Deadline for our fundraising efforts is June 1, 2024.

Some additional information about the project: All donations for the project will be run through the City/Carroll Foundation. Our goal is \$75,000 to raise for the Bandshell restoration/renovation. \$20,000 has already been donated anonymously. Chris Whitaker from Region XII COG will be assisting with some grant applications seeking additional funds. The City of Carroll has given \$30,000 and will add an additional \$30,000 to the project. We asked for \$50,000 and received \$60,000.

The State Historic Preservation Commission has sent information about our Graham Park application for the National Registry with changes made and other necessary edits to be made. We will continue to wait for the process to run through the proper channels.

Some of our other five-year plans will remain tabled as the Bandshell project is our primary focus right now.

Motion to adjourn by Fitz. Second by Steffes. All present voted Aye. Nays: None. Abstain: None. Motion carried 6-0.

Next meeting will be May 8, 2024 at 5:00 in the Carroll City Hall Board Room.

Respectfully submitted,

Tim Fitzpatrick, Secretary

Carroll Historic Preservation Commission

City of Carroll

City Hall Board Room

Wednesday, March 6, 2024

Meeting called to order at 5:00 p.m. by Vicki Gach. Members present: Vicki Gach, Tim Fitzpatrick, Denis Bormann, Kathy Hansen, John Steffes, Carolyn Siemann, Karen Friedlein.

Minutes from January 31, 2024, meeting reviewed. Motion to approved by Fitzpatrick, second by Steffes. All present voted Aye. Nays: None. Abstain: None. Motion carried, 7-0.

Preview of Graham Park Character/History walk on June 2, 2024. Vicki handed out jobs/responsibilities for the event. There are 12 locations in the area that have historical significance to be showcased. Commission members and community members will be located at each site to give information about that area of Graham Park and the people who created the facilities.

Graham Park Band Shell Preservation Fundraiser Project information. Denis presented research information on the Band Shells in Ames, Gowrie, and Hampton. Kathy provided information on the Creston, Mason City, and Clear Lake Band Shells. Information included dates of construction, former and current use, repair/renovation and maintenance schedules, how they are funded, and if they are on the National Registry. Vicki then presented the estimated engineering/construction/renovation costs from Shive-Hattery and then listed the Project costs coverage from three sources: the City of Carroll, Local Grants (2024 grant cycle), and fundraising by the Carroll Historic Preservation Commission. Vicki also presented a list of potential donors and the Commission members divided them up for future contact.

The Commission is planning a fundraiser/character walk at Graham Park on Sunday, June 2, 2024, from 1:00-3:30 which coincides with the Carroll County Historical Society's annual Open House at the Park. The City Council will be discussing the Band Shell at their April 8 council meeting. All are encouraged to attend.

Discussion on Agenda Item #4 Five-year plans was tabled at this time and will be included in a future meeting.

Other: Vicki and Carolyn have submitted the Graham Park National Register nomination to the State Historic Preservation Commission and will see if any further revisions need to be made.

Reminder that our annual May cleanup of the cemetery museum is May 21 at 4:00 p.m.

Motion made to adjourn by Friedlein, seconded by Bormann. All present voted Aye. Nays: None. Abstain: None. Motion carried 7-0.

Next meeting will be April 10, 2024, at 5:00 p.m. in the City Hall Boardroom.

Respectfully submitted,

Tim Fitzpatrick, Secretary

**PARKS, RECREATION AND CULTURAL BOARD MEETING MINUTES**  
**May 6, 2024 @ 5:15 PM**  
**Carroll Rec Center**

The Parks, Recreation and Cultural Advisory Board met in person on this date at 5:15 P.M. Members Present: Casey Berlau, Deb Quandt, Jean Ludwig, Sheila Dentilinger, Chase Werden, Chad Ross, Mary Bruner. Absent: Josh Sporrer and Cynthia Scaturico. Staff Present: Chad Tiemeyer. Council Member: Lavern Dirx

The meeting was called to order at 5:15 P.M.

Mary Bruner was recognized for her years of service to the Parks, Recreation, and Cultural Advisory Board.

\* \* \* \* \*

It was moved by Werden and seconded by Ludwig to approve the May 6, 2024, agenda as presented. All present voted aye. Nays: none. Abstain: none. Absent: Scaturico and Sporrer. Motion carried 7-0.

\* \* \* \* \*

It was moved by Werden and seconded by Bruner to approve the March 2024, minutes. All present voted aye. Nays: none. Abstain: none. Absent: Scaturico and Sporrer. Motion carried 7-0.

\* \* \* \* \*

Public Comments: None present.

\* \* \* \* \*

Director of Parks and Recreation Report: Tiemeyer discussed projects in the parks and getting ready for spring and summer.

\* \* \* \* \*

2024 Parks and Open Spaces Projects. Tiemeyer outlined the upcoming construction year projects. Updated on bids from Merchants Project and some of the complications the City will face with the bids and shortfall of funding for full project.

Bandshell: Historical Society will be helping raise funds for this project. Tiemeyer is working on construction design with Shive-Hattery and has routes available once money is raised.

2024 State Tournament: Tiemeyer discussed the process of applying for the State Tournament to come back to Carroll and Merchants Park for another three-year stint. No Action Taken

\* \* \* \* \*

Golf Course: Discussed weather problems and trying to open. Shared construction schedule for the Pump House Project starting this fall. No Action Taken

\* \* \* \* \*

Carroll Rec Center Building Improvement Project updates: Discussed being 99% done with construction. Small list of punch list items remain. No Action Taken.

\* \* \* \* \*

The REC will host a chamber coffee on June 14<sup>th</sup>. Discussion had on fun activities for that day.

\* \* \* \* \*

Adjournment: Motioned by Ross, seconded by Bruner for adjournment. All present voted aye. Nays: none. Abstain: none. Absent: Scaturico and Sporrer. Motion carried 7-0.